

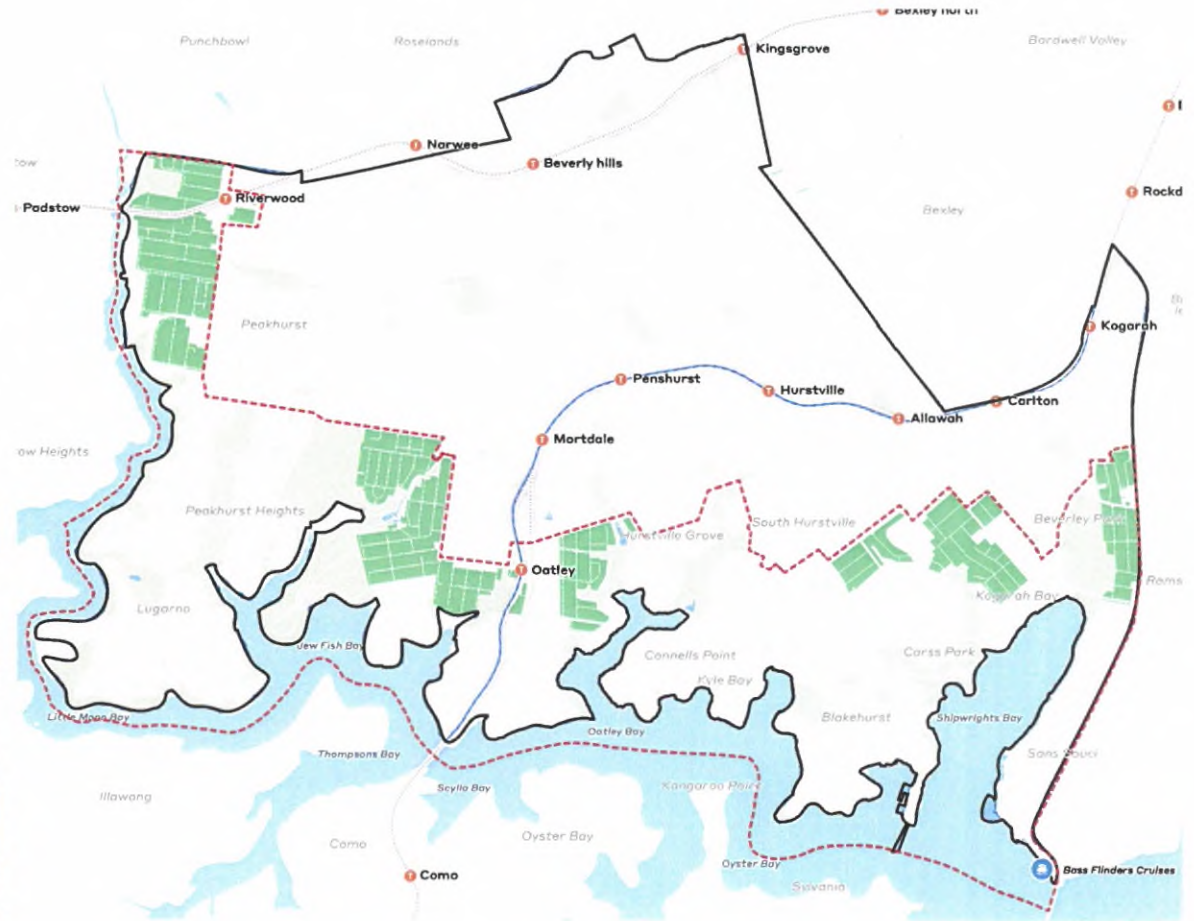
Local Character Statement for the Garden Suburban Traditional Local Character Area

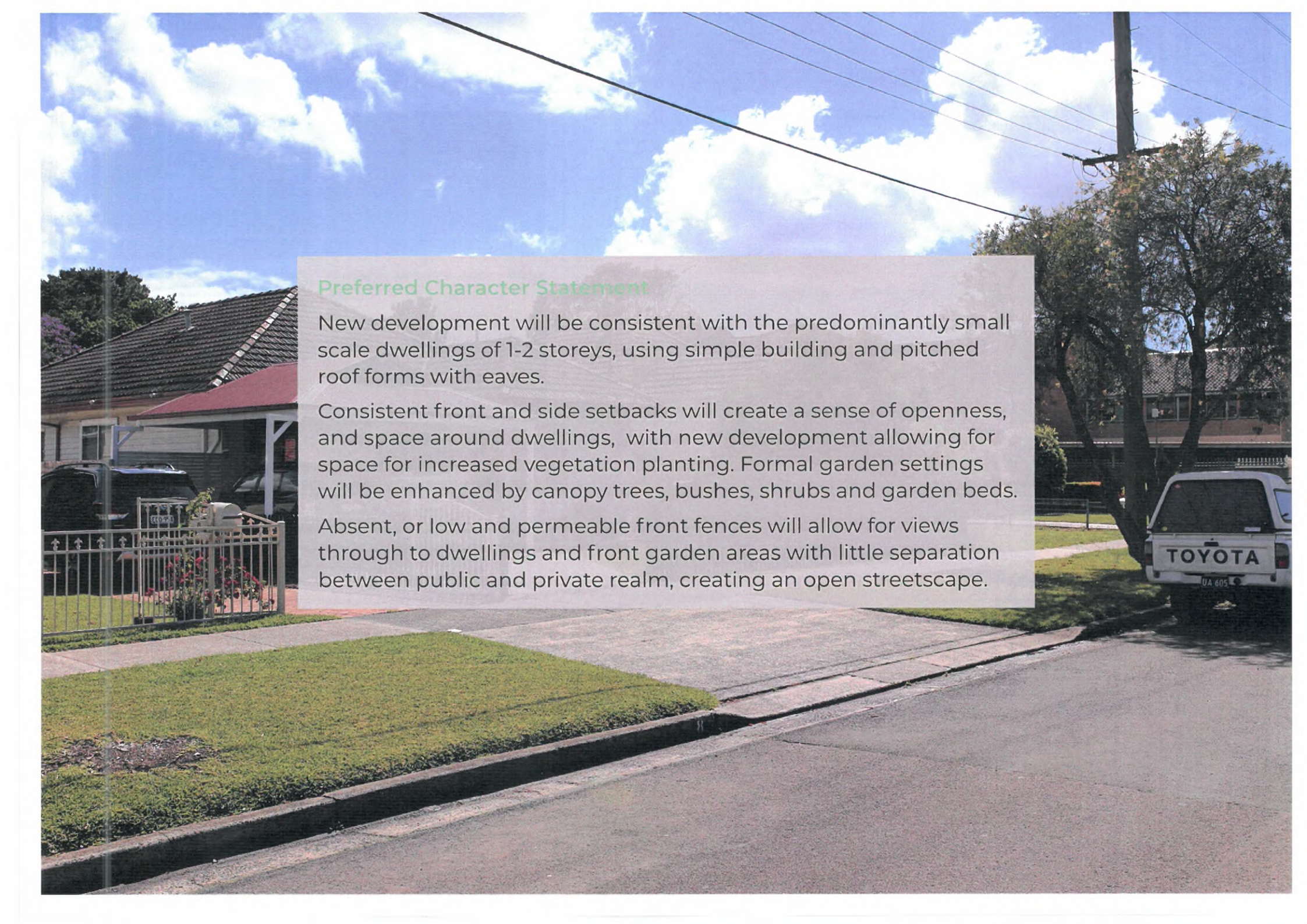
Category of Local Character Area: Enhance

Description

The character of this area is attributed to an older, fine grain street pattern generally featuring paved footpaths on one side of the road and kerb and channel drainage throughout. The predominantly flat topography affords views of treetops within the streetscape and above existing dwellings. Dwellings are clearly visible from the street and situated on modest sized lots, with low level vegetation and well established gardens, and low front fencing. Streets are irregularly planted with native trees that contribute to the garden setting of the precinct. Front and side setbacks are predominantly consistent and establish a uniform streetscape.

Consisting of a mix of brick, weatherboard and concrete materials, the single and double storey dwellings within this area lends itself to a traditional Garden Suburban Character.





Preferred Character Statement

New development will be consistent with the predominantly small scale dwellings of 1-2 storeys, using simple building and pitched roof forms with eaves.

Consistent front and side setbacks will create a sense of openness, and space around dwellings, with new development allowing for space for increased vegetation planting. Formal garden settings will be enhanced by canopy trees, bushes, shrubs and garden beds.

Absent, or low and permeable front fences will allow for views through to dwellings and front garden areas with little separation between public and private realm, creating an open streetscape.

Design Guidelines

Design Variable	Character Element	Objective	Design Response
Scale	Building height and form	To ensure that new buildings and extensions do not dominate the streetscape.	<ul style="list-style-type: none"> • Storeys above ground level should be recessed from the front facade. • Roofs should provide prominent eaves.
Distribution	Gardens and landscaping	To enhance and strengthen the garden settings of dwellings.	<ul style="list-style-type: none"> • Prepare a landscape plan to accompany all applications for new dwellings that utilise low maintenance species. • Retain existing trees and plant vegetation around dwellings, including trees.
	Siting and setbacks	To enhance and reinforce the predominant building alignment along the street and retain the existing street rhythm.	<ul style="list-style-type: none"> • Buildings should be set back to allow for planting along one side boundary. • Orient dwellings to address the street. • In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and articulation.
Materials and Details	Front fencing	To enhance the openness and minimal delineation between public and private areas of the streetscape.	<ul style="list-style-type: none"> • Provide no or low, visually permeable front fence up to 1.2m in height. • On main roads, higher front fences (up to 1.8m) may be constructed where they provide at least 20% permeability.
Access and Connection	Garage storage and vehicle access	To minimise the dominance of car parking access and structures.	<ul style="list-style-type: none"> • Locate garages and carports behind or in line with the front dwelling façade. • Provide only one vehicular crossover per typical site frontage. • Where a side by side development occurs, space the vehicle crossovers to retain the existing rhythm of the street.

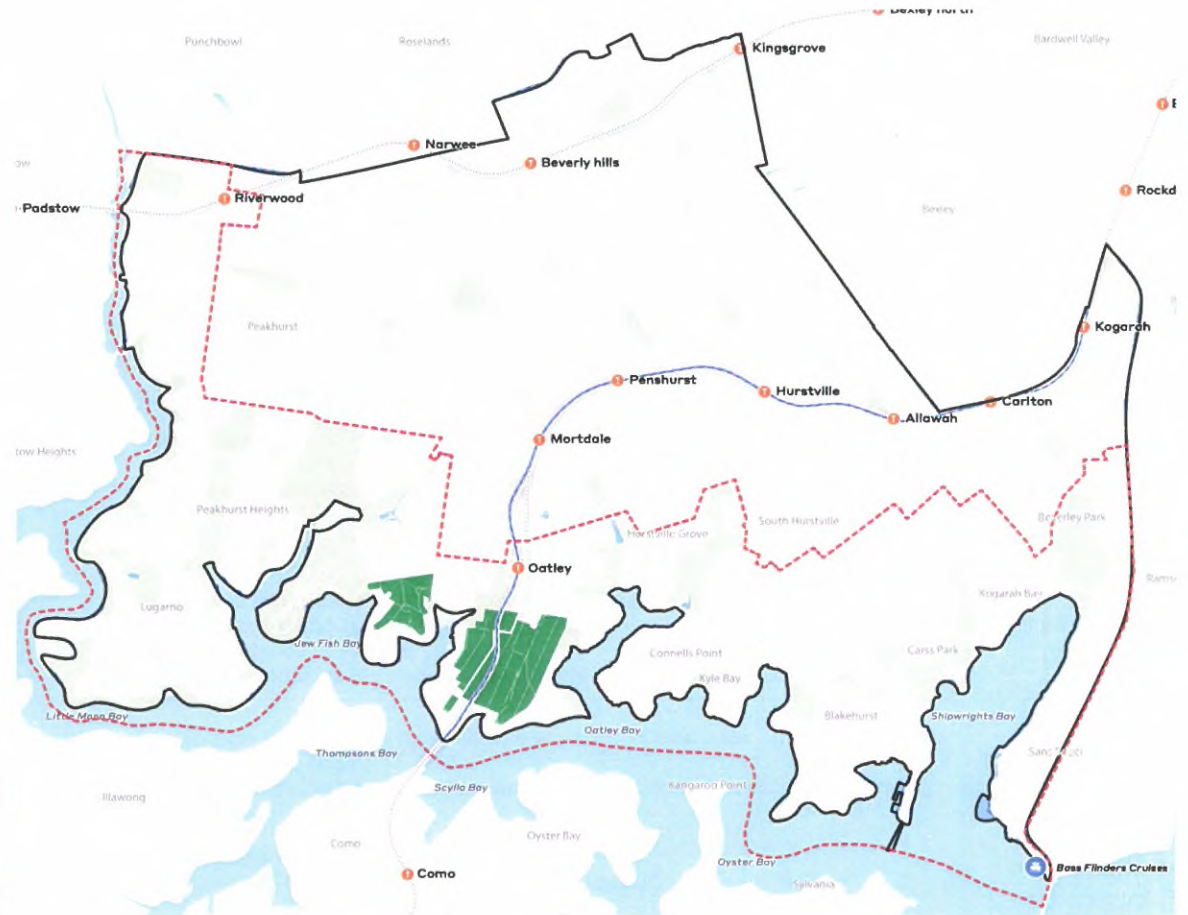
Local Character Statement for the Garden Suburban Naturalistic Local Character Area

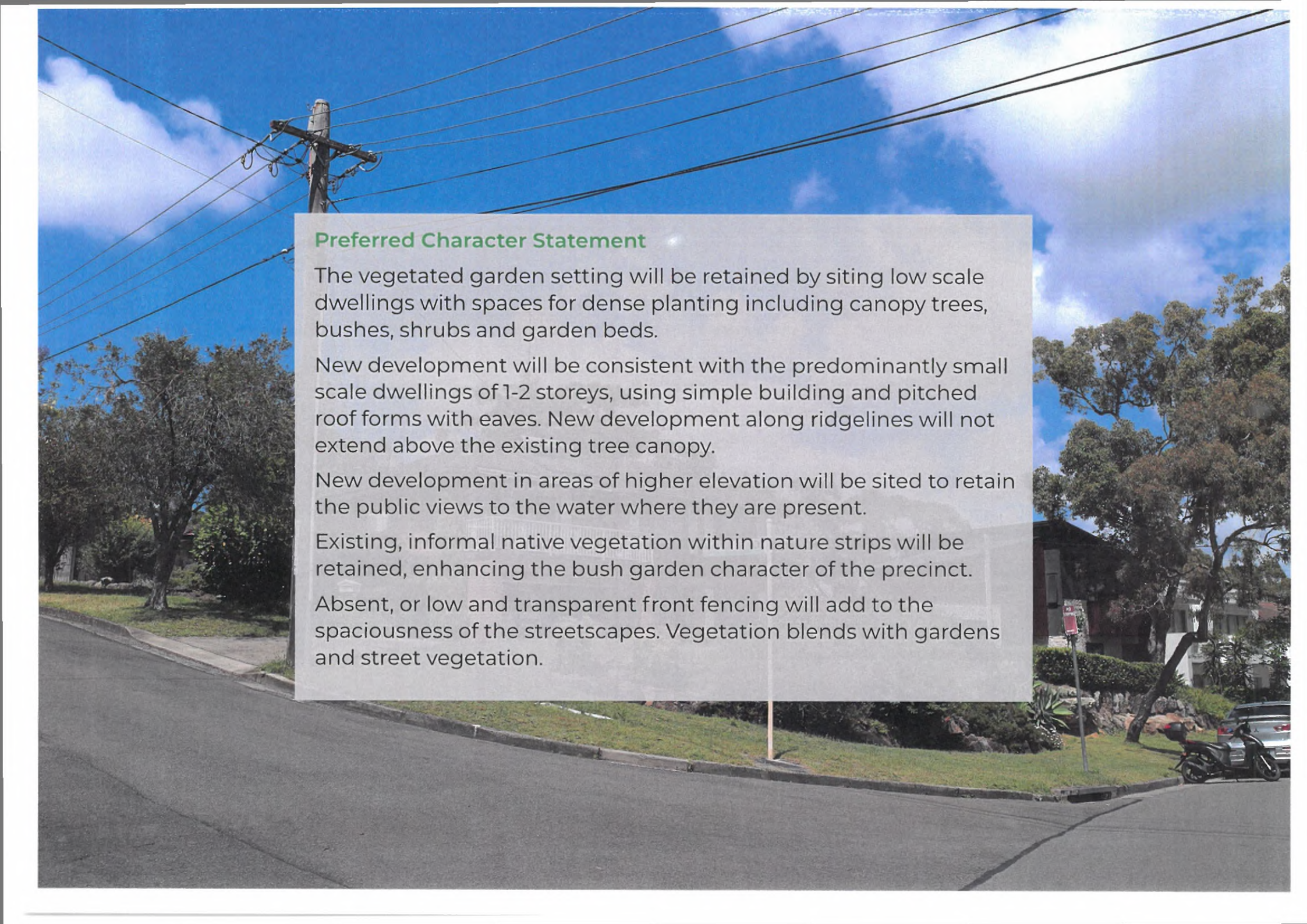
Category of Local Character Area: Maintain

Description

The character of this area is attributed to an older, fine grain street pattern generally featuring paved footpaths on one side of the road and kerb and channel drainage throughout. Predominantly sloping topography affords views of treetops within the streetscape and above existing dwellings, as well as intermittent views across Georges River.

Dwellings are generally visible from the street and situated on modest sized lots, with well established gardens. Streets are irregularly planted with native trees and other vegetation that contribute to the increased level of vegetation coverage throughout the precinct. Front and side setbacks are predominantly consistent and establish a uniform streetscape.





Preferred Character Statement

The vegetated garden setting will be retained by siting low scale dwellings with spaces for dense planting including canopy trees, bushes, shrubs and garden beds.

New development will be consistent with the predominantly small scale dwellings of 1-2 storeys, using simple building and pitched roof forms with eaves. New development along ridgelines will not extend above the existing tree canopy.

New development in areas of higher elevation will be sited to retain the public views to the water where they are present.

Existing, informal native vegetation within nature strips will be retained, enhancing the bush garden character of the precinct.

Absent, or low and transparent front fencing will add to the spaciousness of the streetscapes. Vegetation blends with gardens and street vegetation.

Design Guidelines

Design Variable	Character Element	Objective	Design Response
Scale	Building height and form	To ensure that new buildings and extensions do not dominate the streetscape	<ul style="list-style-type: none"> • New development should complement the low scale building height and forms of existing dwellings. • Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site. • New buildings at or near ridgelines should be designed and sited below the height of trees along the ridgeline. • Roofs should provide prominent eaves.
Distribution	Gardens and landscaping	To maintain and strengthen the bushy garden settings of dwellings.	<ul style="list-style-type: none"> • Retain existing canopy trees and understorey planting wherever possible (Locate footings outside tree protection zone). If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for replacement planting of native trees that will grow to a mature height similar to the mature height of the tree to be removed. • Prepare a landscape plan to accompany all applications for new dwellings that utilise appropriate native species. • Plant vegetation around dwellings, including trees. • Provide for one area within the front set back with minimum dimensions of 5m x 5m, to accommodate at least one canopy tree.
	Siting and setbacks	To maintain and reinforce the predominant rhythm of dwelling spacing within the streetscape, while enabling tree planting.	<ul style="list-style-type: none"> • Buildings should be set back from side boundaries to enable the planting of trees and understorey planting. • Orient dwellings to address the street. • If more than one detached dwelling is proposed on a lot, provide sufficient separation between each dwelling to allow for the planting of small to medium trees and understorey vegetation.
Materials and Details	Front fencing	To maintain and strengthen the spaciousness and bush character of front gardens and the view of these gardens and trees from the street.	<ul style="list-style-type: none"> • Provide no or a low front fence up to 1.2m in height. • On main roads, higher front fences (up to 1.8m) may be constructed where they provide at least 20% permeability. • Integrate vegetation with front fencing.
Access and Connection	Garage storage and vehicle access	To minimise the dominance of car parking access and structures.	<ul style="list-style-type: none"> • Locate garages and carports behind or in line with the front dwelling façade. • Provide only one vehicular crossover per typical site frontage. • Minimise paving in front garden areas.

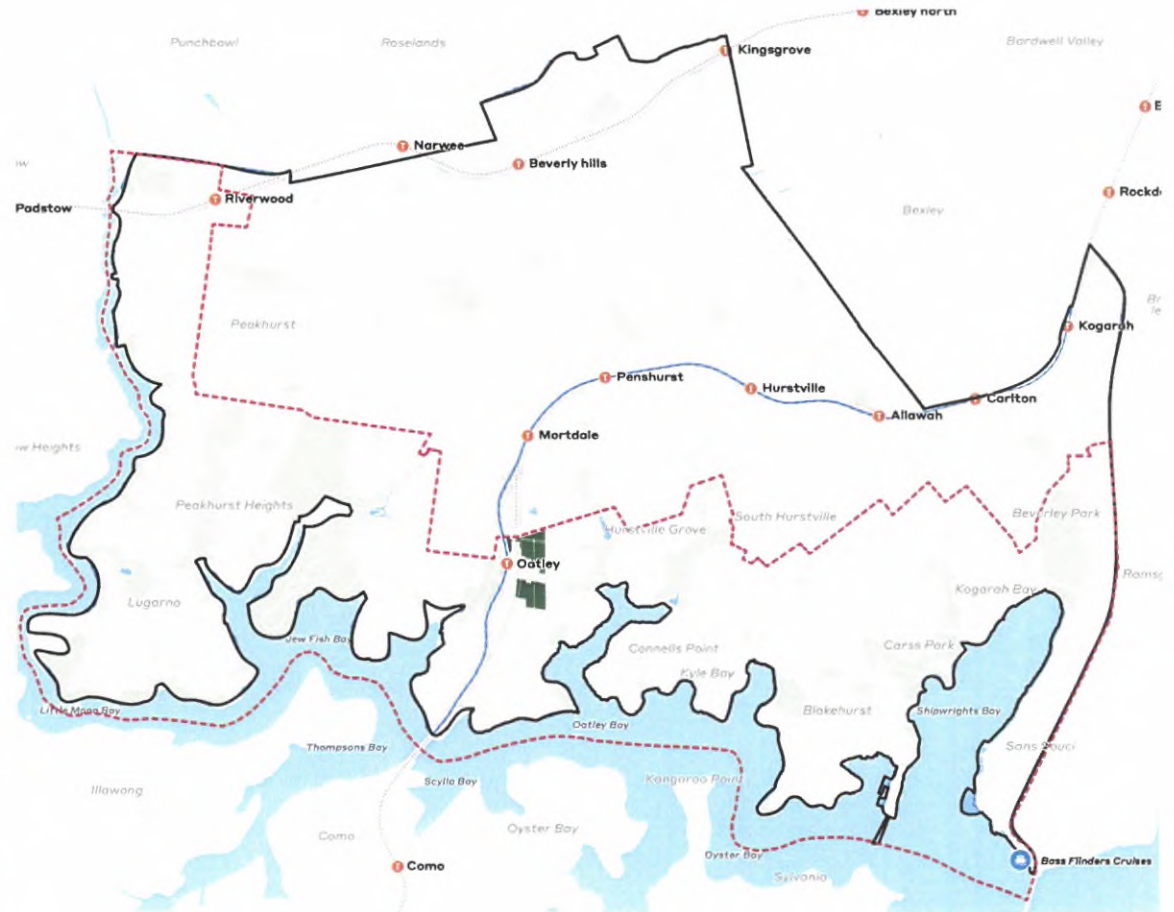
Local Character Statement for the Garden Suburban Medium Density Local Character Area


Category of Local Character Area: Enhance

Description

This area is defined predominantly by increased building heights and older, post war and modern building styles. Apartment complexes of up to three stories front the streets, with low to medium levels of vegetation providing a visual break between the public realm and the dominant built form. The area is situated within a gridded street pattern that generally features paved footpaths on both sides of the road, with kerb and channel drainage throughout. The topography of this area is predominantly flat.

Dwellings are clearly visible from the street and situated on modest sized lots, with well low level to well established gardens. Front and side setbacks are generally consistent and establish a uniform streetscape.





Preferred Character Statement

New development will be consistent with the predominantly medium scale dwellings of 3 storeys. New development will incorporate contemporary design responses that reflect the materiality of existing developments.

Consistent front and side setbacks will create a sense of space around dwellings, with new development allowing for space for increased vegetation planting in the front and side setbacks. Formal garden settings will be enhanced by bushes, shrubs and garden beds.

Absent, or low front fences will allow for views through to dwellings and front garden areas with little separation between public and private realm, creating an open streetscape.

Design Guidelines

Design Variable	Character Element	Objective	Design Response
Scale	Building height and form	To ensure that new buildings and extensions do not dominate the streetscape	<ul style="list-style-type: none"> Respect the predominant height and form in the street (generally two - three storeys). Articulate the front facades of buildings through the use of setbacks, recesses, windows and materials.
Distribution	Gardens and landscaping	To maintain and strengthen the garden settings of dwellings.	<ul style="list-style-type: none"> Prepare a landscape plan to accompany all applications for new dwellings that utilise low maintenance species. Retain existing trees and plant vegetation around dwellings, including trees.
	Siting and setbacks	To maintain and reinforce the predominant building alignment along the street and retain the existing street rhythm.	<ul style="list-style-type: none"> Buildings should be set back to allow for planting along one side boundary. Orient dwellings to address the street.
Materials and Details	Building materials, design and details	To ensure new dwellings positively respond to the preferred building styles of the precinct.	<ul style="list-style-type: none"> Use lighter finishes to complement the predominant palette of materials in the area (eg. reds, creams and greys).
	Front fencing	To maintain the openness and minimal delineation between public and private areas of the streetscape.	<ul style="list-style-type: none"> Provide no or a low front fence up to 1.2m in height. On main roads, higher front fences (up to 1.8m) may be constructed where they provide at least 20% permeability.
Access and Connection	Garage storage and vehicle access	To minimise the dominance of car parking access and structures.	<ul style="list-style-type: none"> Locate garages and carports behind or in line with the front dwelling façade. Provide only one vehicular crossover per typical site frontage.

Local Character Statement for the Bush Suburban Local Character Area

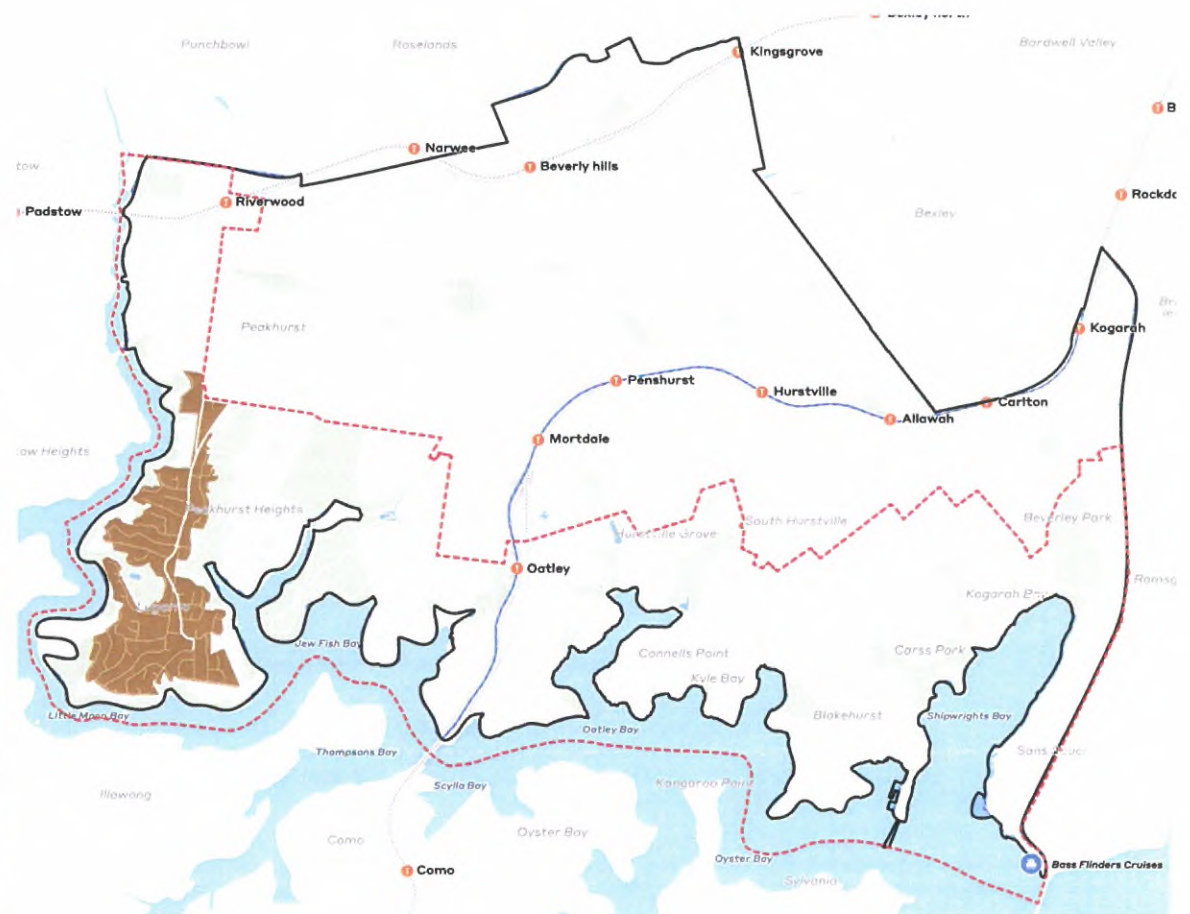
Category of Local Character Area: Maintain

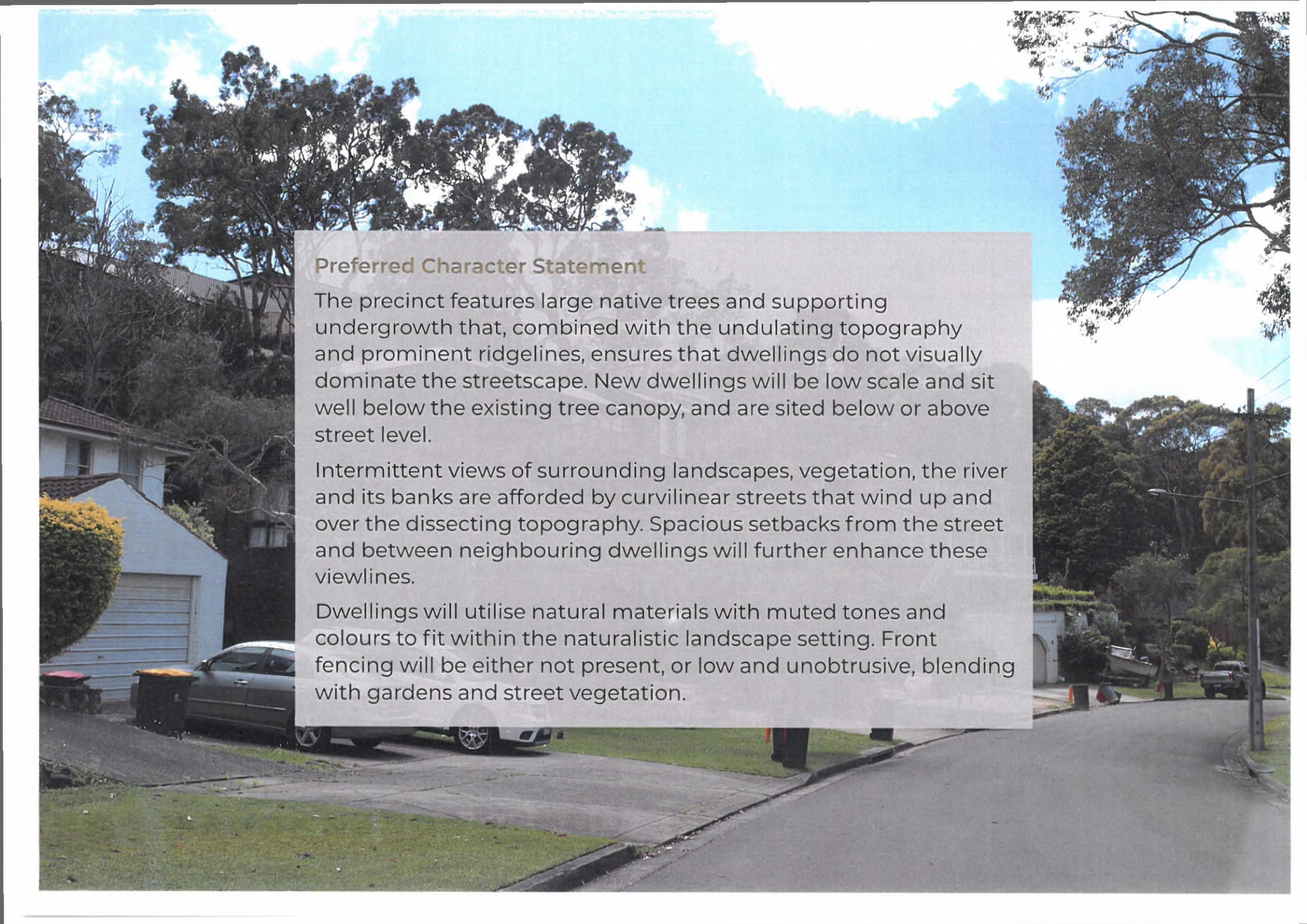
Description

The streets of this precinct have a largely informal character due to the high levels of vegetation present in nature strips, and occasional absence of public realm infrastructure. Dwellings are sited within lots that are also heavily vegetated with native, established gardens that appear visually unified with the vegetation in the public realm.

The architectural style of dwellings in these areas are a mix of post-war, modern and contemporary architectural styles. Dwellings are a mix of detached, single and double storey dwellings developments.

Significant setbacks from the street contribute to the unique and spacious character of the area, affording ample space for the retention and planting of native vegetation.





Preferred Character Statement

The precinct features large native trees and supporting undergrowth that, combined with the undulating topography and prominent ridgelines, ensures that dwellings do not visually dominate the streetscape. New dwellings will be low scale and sit well below the existing tree canopy, and are sited below or above street level.

Intermittent views of surrounding landscapes, vegetation, the river and its banks are afforded by curvilinear streets that wind up and over the dissecting topography. Spacious setbacks from the street and between neighbouring dwellings will further enhance these viewlines.

Dwellings will utilise natural materials with muted tones and colours to fit within the naturalistic landscape setting. Front fencing will be either not present, or low and unobtrusive, blending with gardens and street vegetation.

Design Guidelines

Design Variable	Character Element	Objective	Design Response
Scale	Building height and form	To ensure that new buildings and extensions do not dominate the streetscape	<p>New development should complement the low scale building height and forms of existing dwellings.</p> <p>Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site.</p> <p>New buildings at or near ridgelines should be designed and sited below the height of trees along the ridgeline.</p> <p>Roofs should provide prominent eaves.</p>
	Gardens and landscaping	To maintain and enhance the high levels of Urban Exotics/Natives and Coastal Enriched Sandstone Dry Forest dominated vistas, streetscapes and backdrops	<p>Retain existing canopy trees and understorey wherever possible (Locate footings outside tree protection zone). If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for replacement planting of native trees that will grow to a mature height similar to the mature height of the tree to be removed.</p> <p>Prepare a landscape plan to accompany all applications for new dwellings that utilise appropriate native species.</p> <p>Plant vegetation around dwellings, including trees.</p> <p>Provide for one area within the front set back with minimum dimensions of 5m x 5m, to accommodate at least one canopy tree.</p> <p>Where a tree is to be removed, it is to be replaced on site with a tree of a similar height.</p>
	Siting and setbacks	To maintain and reinforce the predominant rhythm of dwelling spacing within the streetscape, while enabling substantial planting.	<p>Buildings should be set back from side boundaries to enable the planting and growth of medium to large trees and understorey planting.</p> <p>If more than one detached dwelling is proposed on a lot, provide sufficient separation between each dwelling to allow for the planting of small to medium trees and understorey vegetation.</p>
Materials and Details	Building materials, design and details	To ensure new dwellings positively respond to the bush environment.	<p>Use earthy muted tones and finishes to complement the predominant existing palette of materials in the area, such as brick or weatherboard.</p> <p>Solar panels, air conditioning, rainwater tanks, bins and storage should be located to minimise their visual impact.</p>
	Front fencing	To maintain and strengthen the spaciousness and bush character of front gardens and the view of these gardens and trees from the street.	<p>Provide no or a low, open style front fence up to 1.2m in height.</p> <p>1.2m in height from the front of the dwelling.</p> <p>On main roads, higher front fences (up to 1.8m) may be constructed where they provide at least 20% permeability.</p> <p>Integrate vegetation with front fencing.</p>
Access and Connection	Garage storage and vehicle access	To minimise the dominance of car parking access and structures.	<p>Locate garages and carports behind or in line with the front dwelling façade.</p> <p>Provide only one vehicular crossover per typical site frontage.</p>

Local Character Statement for the Garden Court Local Character Area

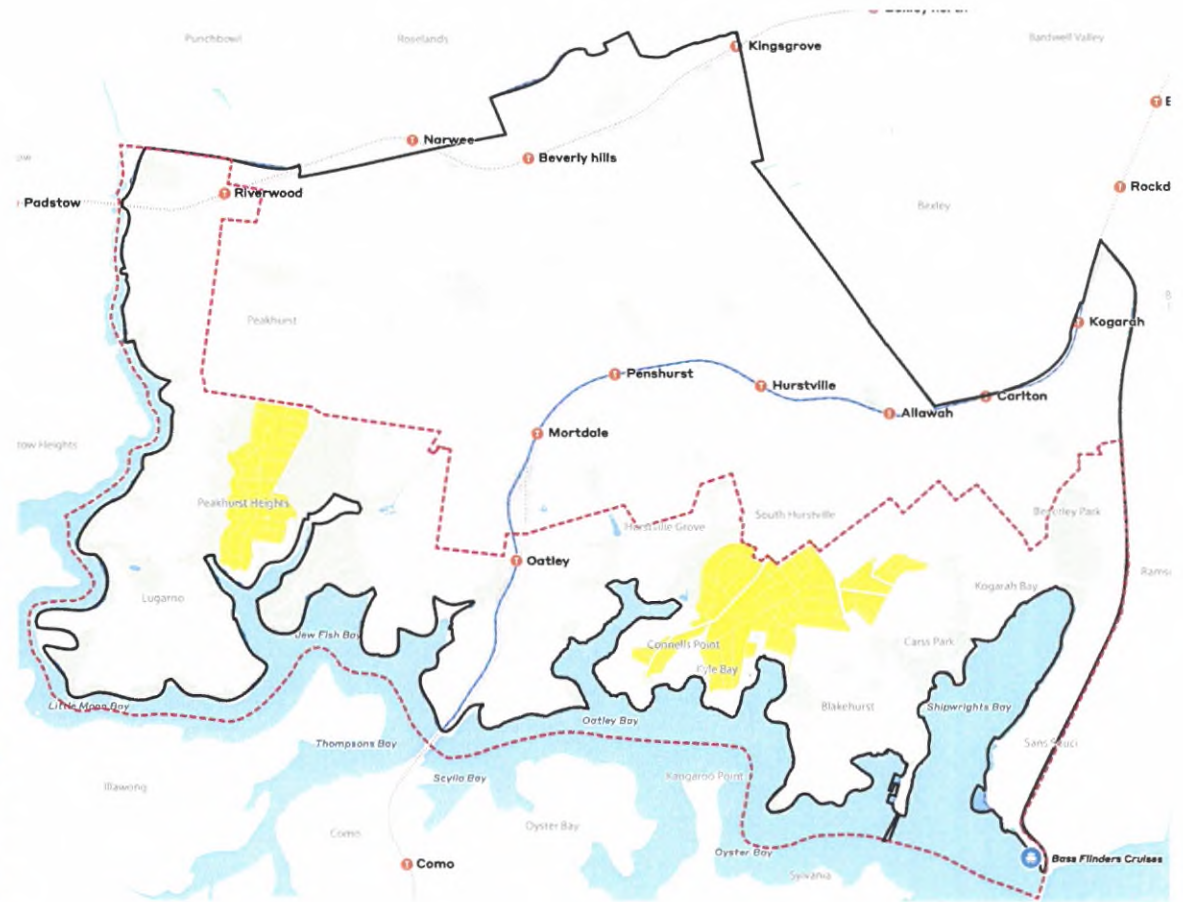
Category of Local Character Area: Enhance

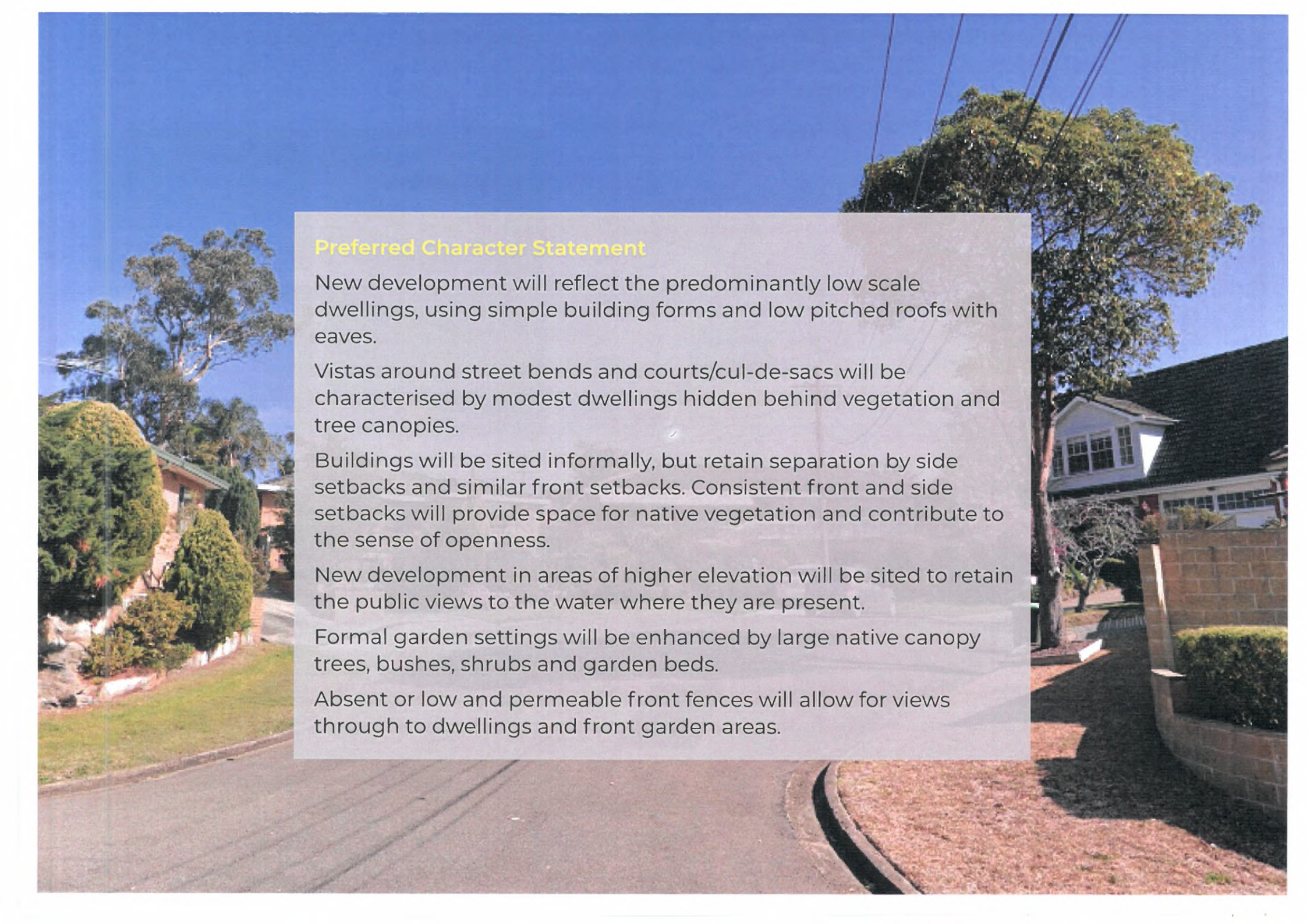
Description

Predominantly court and curvilinear street network, the streets of this precinct have an open garden character, due to the wide lawns and space around dwellings, emphasised by no or low fences that contribute to a sense of openness.

The prevalence of lawns and shrubs in the public and private realm, along with canopy trees create an open garden setting that further strengthens the qualities of this area.

The predominantly simple building forms, with hipped or gabled roofs, and mixed use of materials contribute to a sense of varying streetscapes. The buildings do not dominate the streetscape, despite the scale of some structures, due to the existing vegetation and generosity of existing setbacks.





Preferred Character Statement

New development will reflect the predominantly low scale dwellings, using simple building forms and low pitched roofs with eaves.

Vistas around street bends and courts/cul-de-sacs will be characterised by modest dwellings hidden behind vegetation and tree canopies.

Buildings will be sited informally, but retain separation by side setbacks and similar front setbacks. Consistent front and side setbacks will provide space for native vegetation and contribute to the sense of openness.

New development in areas of higher elevation will be sited to retain the public views to the water where they are present.

Formal garden settings will be enhanced by large native canopy trees, bushes, shrubs and garden beds.

Absent or low and permeable front fences will allow for views through to dwellings and front garden areas.

Design Guidelines

Design Variable	Character Element	Objective	Design Response
Scale	Building height and form	To ensure that new buildings and extensions do not dominate the streetscape.	<ul style="list-style-type: none"> • New development should complement the predominant building height, building forms and siting of existing dwellings. • Storeys above ground level should be recessed from the front facade. • Roofs should provide prominent eaves.
Distribution	Gardens and landscaping	To maintain and strengthen the garden settings of dwellings.	<ul style="list-style-type: none"> • Prepare a landscape plan to accompany all applications for new dwellings that utilise low maintenance species. • Retain existing trees and plant vegetation around dwellings, including trees.
	Siting and setbacks	To maintain and reinforce the predominant building siting rhythm of the streetscape.	<ul style="list-style-type: none"> • Buildings should be set back to allow for planting along one side boundary. • Orient dwellings to address the street. • In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and articulation.
Materials and Details	Front fencing	To maintain the openness and minimal delineation between public and private areas of the streetscape.	<ul style="list-style-type: none"> • Provide no or low, visually permeable front fence up to 1.2m in height. • On main roads, higher front fences (up to 1.8m) may be constructed where they provide at least 20% permeability.
Access and Connection	Garage storage and vehicle access	To minimise the dominance of car parking access and structures.	<ul style="list-style-type: none"> • Locate garages and carports behind or in line with the front dwelling façade. • Provide only one vehicular crossover per typical site frontage. • Where a side by side development occurs, space the vehicle crossovers to retain the existing rhythm of the street.

Local Character Statement for the Emerging Contemporary Local Character Area

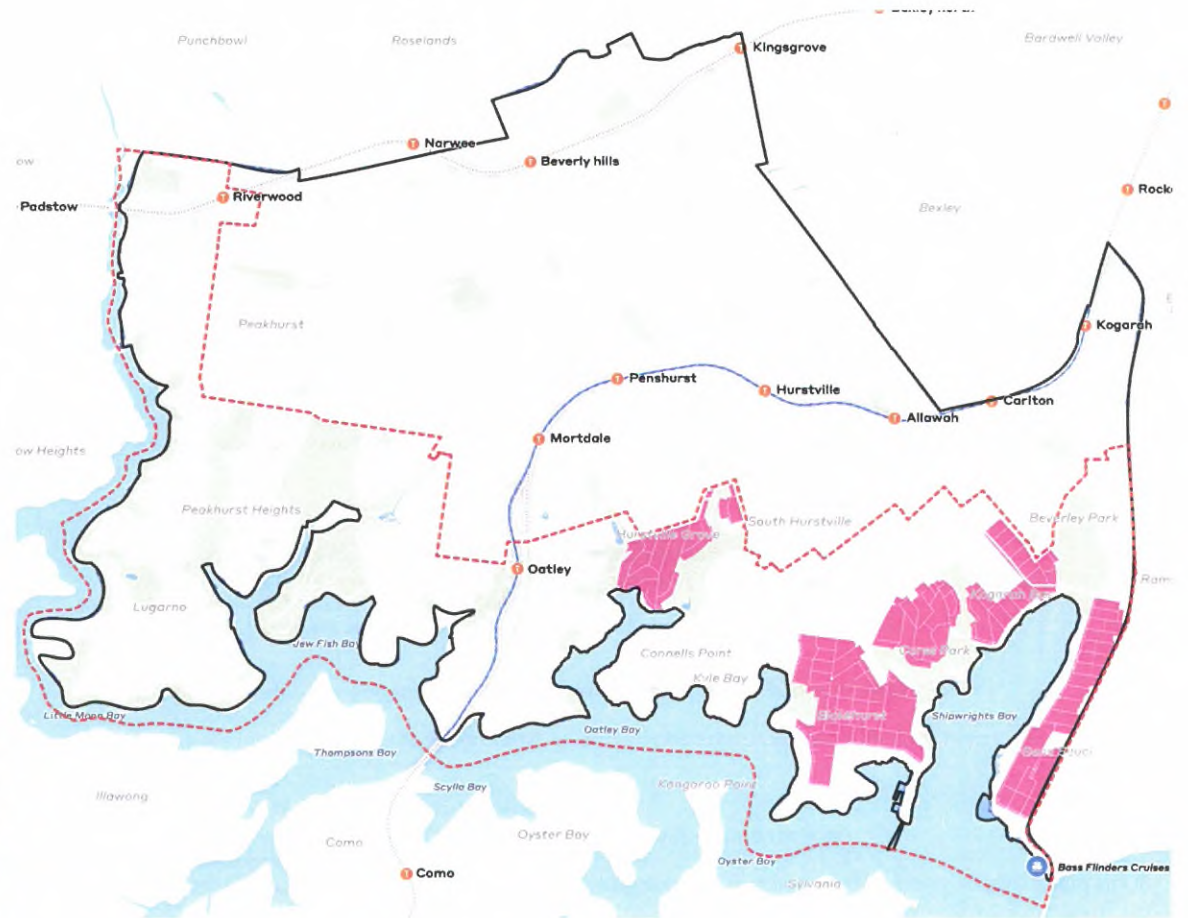
Category of Local Character Area: Enhance


Description

The character of this area is defined by a growing presence of contemporary dwellings, situated within the existing fine grain street pattern. Streets of this area generally feature paved footpaths on one side of the road and kerb and channel drainage throughout. The flat to sloping topography affords views to river from some streets. Dwellings are built to maximise views when they are located close to the foreshore

Dwellings are clearly visible from the street, with low level to well established gardens and low front fencing. Streets are irregularly planted with native trees that soften the emerging contemporary built form styles. Front and side setbacks are predominantly consistent and establish a uniform streetscape.

Contemporary dwellings primarily consist of concrete, glass, steel and other similar materials. The remainder of dwellings are a mix of brick, weatherboard and concrete materials. Single and double storey dwellings are most common within this area.





Preferred Character Statement

New development will reflect the larger scale of emerging dwellings, using contemporary facade articulation and a consistent palette of muted or natural materials. Generous front and side setbacks will be provided to allow for the increased planting of native vegetation.

New development will retain public views to the river, and to the surrounding landscape where these views are present.

Front fencing will be present, but designed to incorporate permeable elements or vegetation to soften the appearance.

Design Guidelines

Design Variable	Character Element	Objective	Design Response
Scale	Building height and form	To ensure that new buildings and extensions do not dominate the streetscape and the wider landscape setting.	<ul style="list-style-type: none"> • New development should complement the predominant building height, building forms and siting of existing dwellings. • Encourage contemporary building design and innovative architecture that articulates facades and responds to sensitive interfaces.
Distribution	Gardens and landscaping	To strengthen the garden settings of dwellings.	<ul style="list-style-type: none"> • Retain established or mature trees and vegetation where possible. • Prepare a landscape plan to accompany all applications for new dwellings that utilise low maintenance species. • Provide landscaping along shared driveways to soften the appearance of buildings.
	Siting and setbacks	To maintain and reinforce the predominant building alignment along the street and retain the existing street rhythm.	<ul style="list-style-type: none"> • Orient dwellings to address the street. • Provide side setbacks around buildings that provide for visual breaks through to garden areas.
Materials and Details	Building materials, design and details	To ensure new dwellings positively respond to the preferred building styles of the precinct.	<ul style="list-style-type: none"> • Use lighter finishes to complement the predominant palette of materials in the area (eg. whites, creams and greys).
	Front fencing	To maintain the openness and minimal delineation between public and private areas of the streetscape.	<ul style="list-style-type: none"> • Provide no or a low front fence up to 1.2m in height. • On main roads, higher front fences (up to 1.8m) may be constructed where they provide at least 20% permeability.
Access and Connection	Garage storage and vehicle access	To minimise the dominance of car parking access and structures.	<ul style="list-style-type: none"> • Locate garages and carports behind or in line with the front dwelling façade. • Provide only one vehicular crossover per typical site frontage.

Local Character Statement for the Rivers Edge Naturalistic Local Character Area

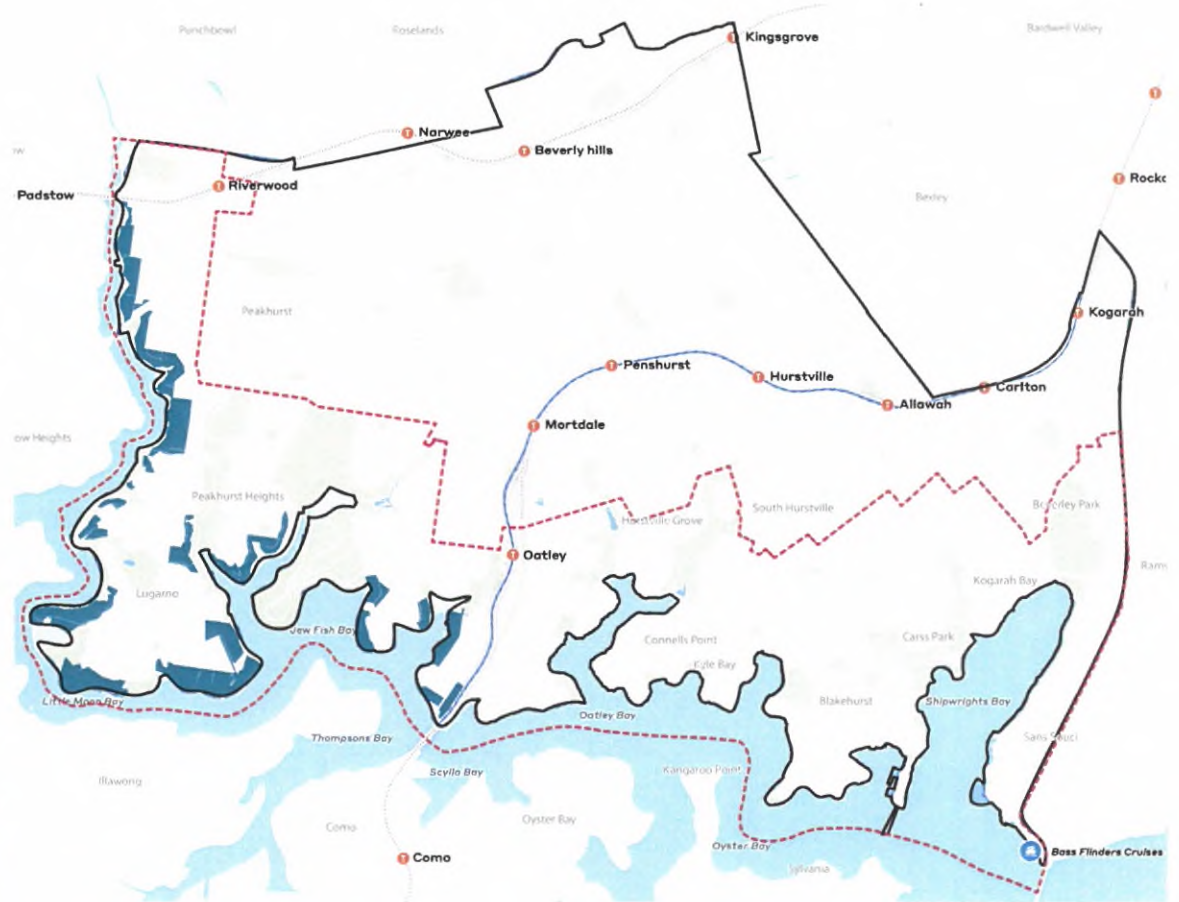
Category of Local Character Area: Maintain

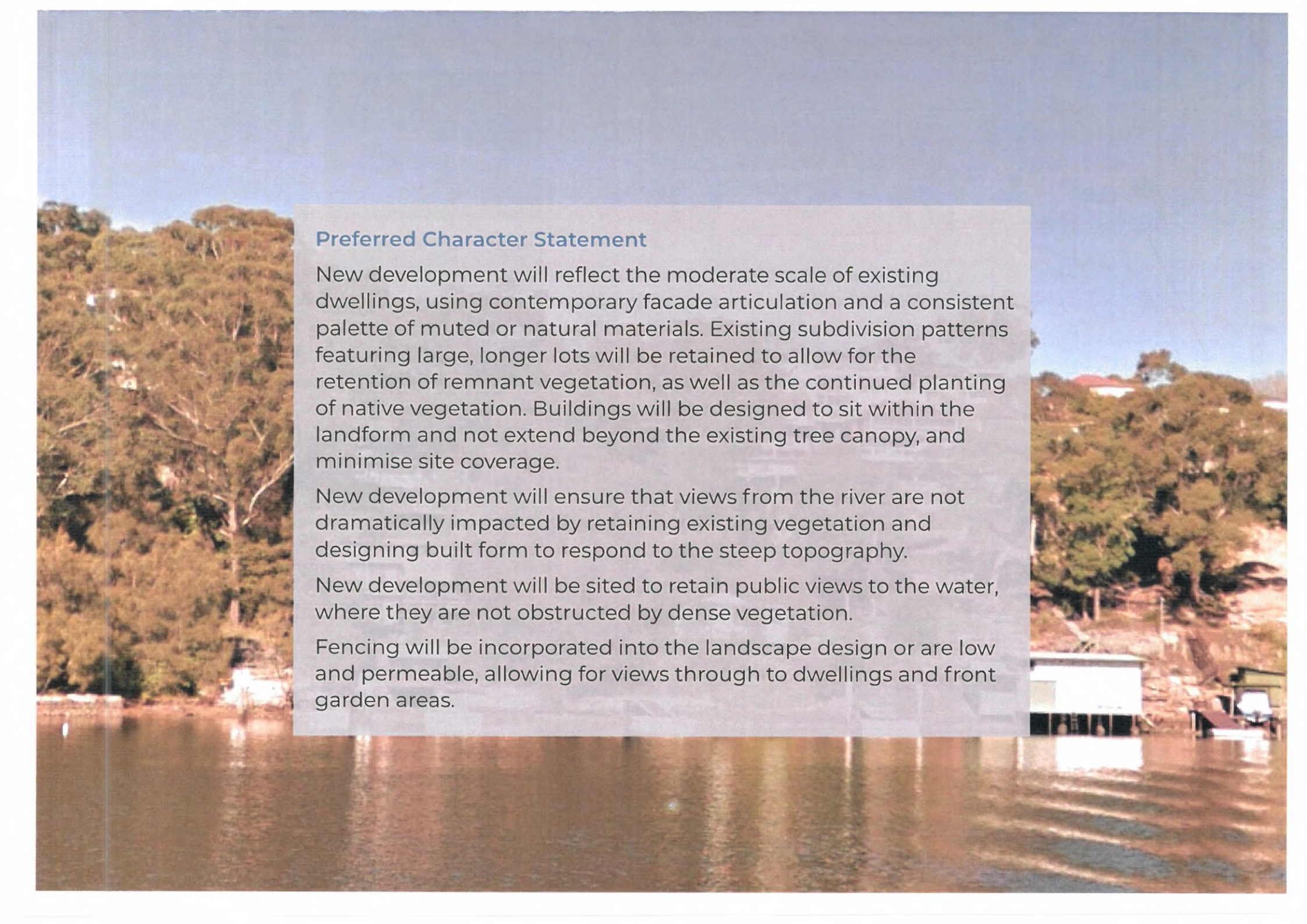
Description

This precinct is defined by its long, narrow lots, informal public realm and dense vegetation. The architectural style of dwellings in this precinct is generally modern, with an occasional contemporary development to be found throughout. Dwellings are built up to four storeys high in order to maximise river views from the tops of steep cliffs and ridgelines. Intermittent views to and across the river and surrounding landscape are afforded from the street. Views of dwellings from the river situated amongst dense vegetation and rocky cliffs.

Medium to high levels of vegetation is present within both the public and private realm. Irregular street tree planting as well as a general lack of footpaths contribute to an informal character.

Dwellings are often built to take advantage of the landscape too, sited on steep hills, with some dwellings sinking below the street with their roof lines at eye level.





Preferred Character Statement

New development will reflect the moderate scale of existing dwellings, using contemporary facade articulation and a consistent palette of muted or natural materials. Existing subdivision patterns featuring large, longer lots will be retained to allow for the retention of remnant vegetation, as well as the continued planting of native vegetation. Buildings will be designed to sit within the landform and not extend beyond the existing tree canopy, and minimise site coverage.

New development will ensure that views from the river are not dramatically impacted by retaining existing vegetation and designing built form to respond to the steep topography.

New development will be sited to retain public views to the water, where they are not obstructed by dense vegetation.

Fencing will be incorporated into the landscape design or are low and permeable, allowing for views through to dwellings and front garden areas.

Design Guidelines

Design Variable	Character Element	Objective	Design Response
Scale	Building height and form	To ensure that new buildings and extensions do not dominate the streetscape and the wider landscape setting.	<ul style="list-style-type: none"> • New development should complement the predominant building height, building forms and siting of existing dwellings. • Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site. • New buildings at or near ridgelines should be designed and sited below the height of trees along the ridgeline, as viewed from both the street and the Georges River.
Distribution	Gardens and landscaping	To maintain and enhance the native vegetation dominated vistas, streetscapes and densely vegetated rivers edge.	<ul style="list-style-type: none"> • Retain existing canopy trees and understorey planting wherever possible (Locate footings outside tree protection zone). If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for replacement planting of native trees that will grow to a mature height similar to the mature height of the tree to be removed. • Prepare a landscape plan to accompany all applications for new dwellings that utilise appropriate native species. • Plant vegetation around dwellings, including trees. • Provide for one area within the front and rear (river frontage) set back with minimum dimensions of 5m x 5m, to accommodate at least one canopy tree. • Provide landscaping along shared driveways to soften the appearance of buildings.
	Siting and setbacks	To maintain and reinforce the predominant rhythm of dwelling spacing within the streetscape, while enabling tree planting.	<ul style="list-style-type: none"> • Buildings should be set back from side boundaries to enable the planting of trees and understorey planting and provide intermittent views through to the river from the street. • Orient dwellings to address the street and the rivers edge. • If more than one detached dwelling is proposed on a lot, provide sufficient separation between each dwelling to allow for the planting of small to medium trees and understorey vegetation.
Materials and Details	Front fencing	To maintain the openness and minimal delineation between public and private areas of the streetscape.	<ul style="list-style-type: none"> • Provide no or a low front fence up to 1.2m in height.
Access and Connection	Garage storage and vehicle access	To minimise the dominance of car parking access and structures.	<ul style="list-style-type: none"> • Locate garages and carports behind or in line with the front dwelling façade. • Provide only one vehicular crossover per typical site frontage. • Minimise paving in front and rear garden areas.

Local Character Statement for the Rivers Edge Semi-Naturalistic Local Character Area

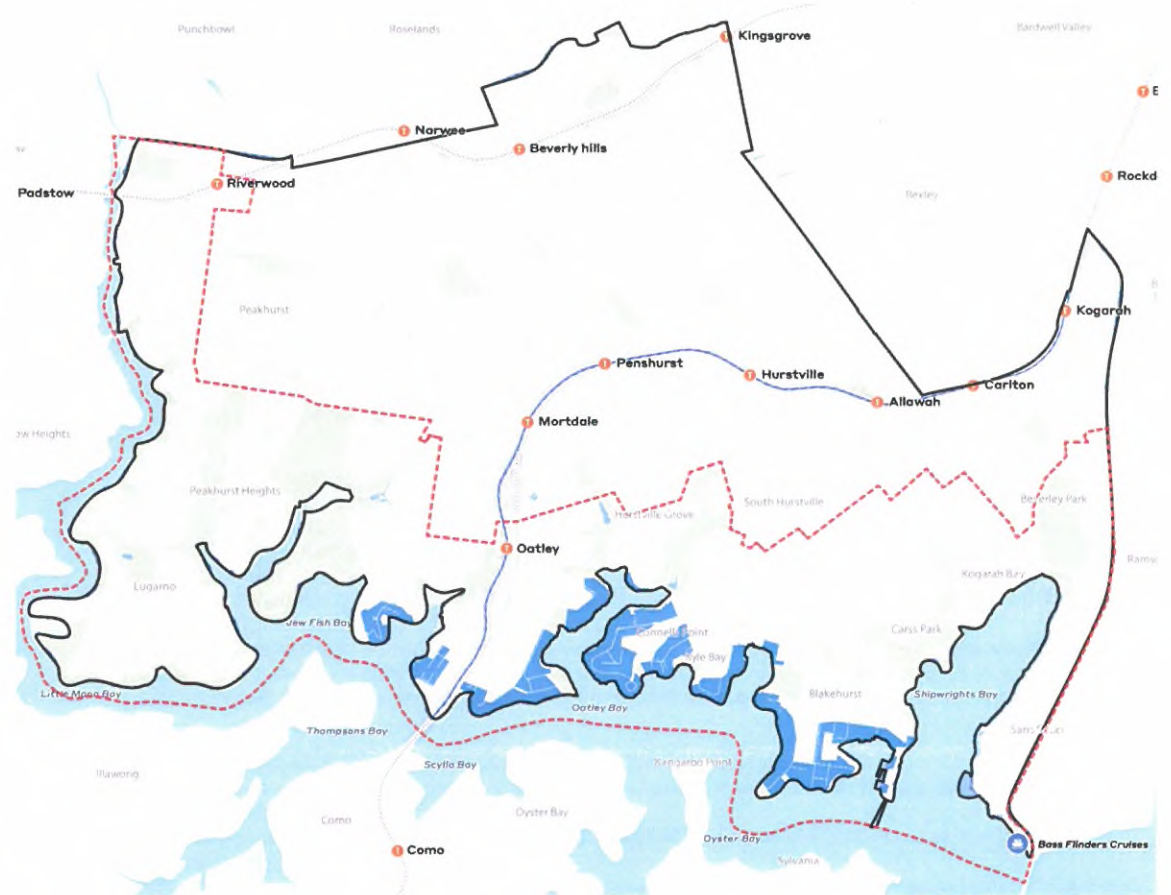
Category of Local Character Area: Maintain

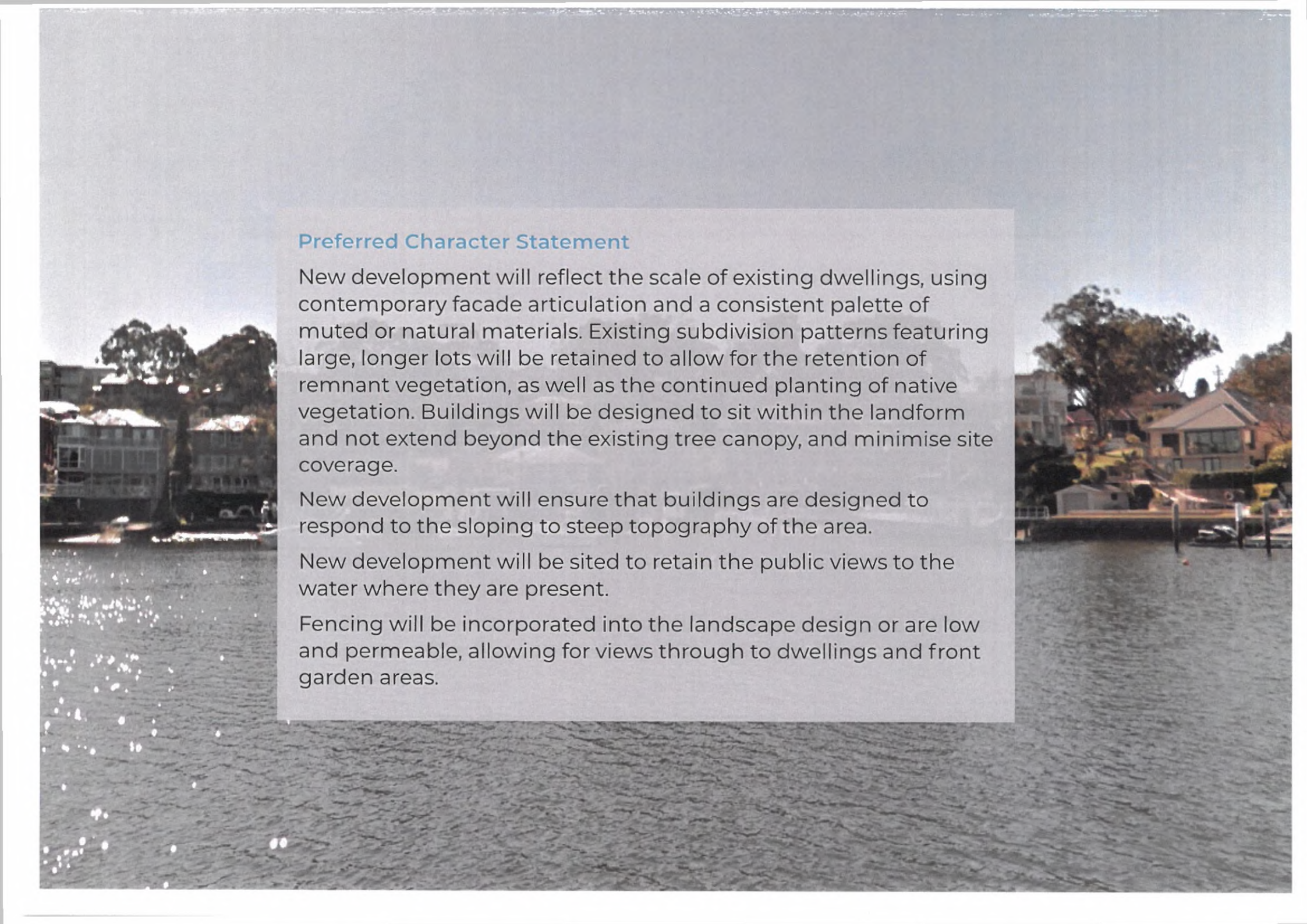
Description

This precinct is defined by its long, narrow lots and moderate levels of public and private realm vegetation coverage. The architectural style of dwellings in this precinct is a mix of both modern and contemporary development. Dwellings are built up to four storeys high in order to maximise river views from the tops of steep cliffs and ridgelines. Intermittent views to and across the river and surrounding landscape are afforded from the street. Dwellings are more prominent when viewed from the river, due to lower levels of vegetation and an increased prevalence of rocky outcrops.

Moderate levels of vegetation are present within both the public and private realm. Formalised footpaths and lower levels of irregular street tree planting contribute to a greater sense of formality in this area.

Dwellings are built to take advantage of the landscape, sited on steep hills, with some dwellings sinking below the street with their roof lines at eye level.





Preferred Character Statement

New development will reflect the scale of existing dwellings, using contemporary facade articulation and a consistent palette of muted or natural materials. Existing subdivision patterns featuring large, longer lots will be retained to allow for the retention of remnant vegetation, as well as the continued planting of native vegetation. Buildings will be designed to sit within the landform and not extend beyond the existing tree canopy, and minimise site coverage.

New development will ensure that buildings are designed to respond to the sloping to steep topography of the area.

New development will be sited to retain the public views to the water where they are present.

Fencing will be incorporated into the landscape design or are low and permeable, allowing for views through to dwellings and front garden areas.

Design Guidelines

Design Variable	Character Element	Objective	Design Response
Scale	Building height and form	To ensure that new buildings and extensions do not dominate the streetscape and the wider landscape setting.	<ul style="list-style-type: none"> • New development should complement the predominant building height, building forms and siting of existing dwellings. • Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site. • New buildings at or near ridgelines should be designed and sited below the height of trees along the ridgeline, as viewed from both the street and the Georges River.
Distribution	Gardens and landscaping	To maintain and enhance the native vegetation dominated vistas, streetscapes and predominantly vegetated rivers edge.	<ul style="list-style-type: none"> • Retain existing canopy trees and understorey planting wherever possible (Locate footings outside tree protection zone). If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for replacement planting of native trees that will grow to a mature height similar to the mature height of the tree to be removed. • Prepare a landscape plan to accompany all applications for new dwellings that utilise appropriate native species. • Plant vegetation around dwellings, including trees. • Provide for one area within the front and rear (river frontage) set back with minimum dimensions of 5m x 5m, to accommodate at least one canopy tree. • Provide landscaping along shared driveways to soften the appearance of buildings.
	Siting and setbacks	To maintain and reinforce the predominant rhythm of dwelling spacing within the streetscape, while enabling tree planting.	<ul style="list-style-type: none"> • Buildings should be set back from side boundaries to enable the provision of landscaping and provide intermittent views through to the river from the street. • Orient dwellings to address the street and the rivers edge. • If more than one detached dwelling is proposed on a lot, provide sufficient separation between each dwelling to allow for the planting of small to medium trees and understorey vegetation.
Materials and Details	Front fencing	To maintain the openness and minimal delineation between public and private areas of the streetscape.	<ul style="list-style-type: none"> • Provide no or a low front fence up to 1.2m in height.
Access and Connection	Garage storage and vehicle access	To minimise the dominance of car parking access and structures.	<ul style="list-style-type: none"> • Locate garages and carports behind or in line with the front dwelling façade. • Provide only one vehicular crossover per typical site frontage. • Minimise paving in front and rear garden areas.

Local Character Statement for the Rivers Edge Contemporary Local Character Area

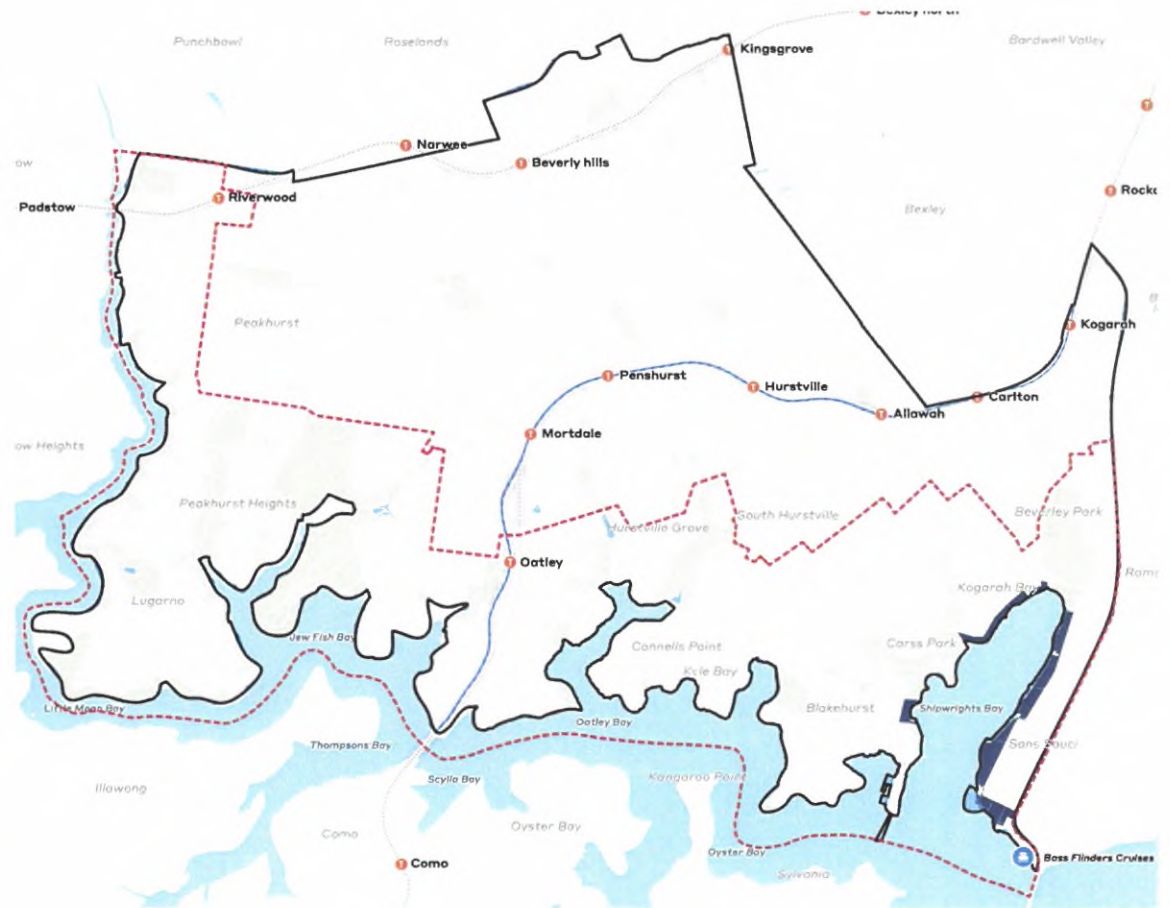
Category of Local Character Area: Enhance

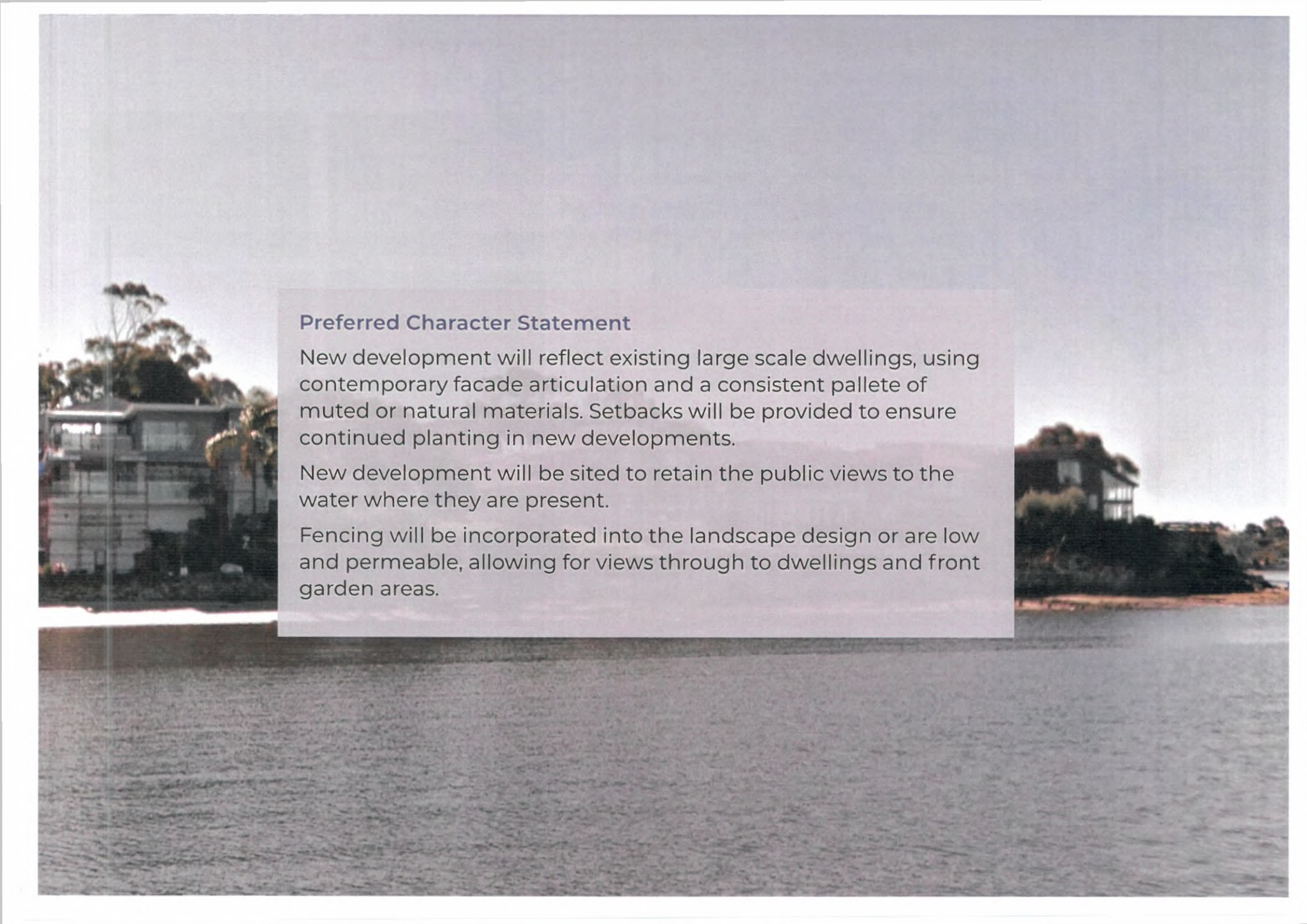
Description

This precinct is defined by a finer grain streetscape featuring lots that predominantly front the water. The area generally contains lower levels of public and private realm vegetation and the architectural style of dwellings in this precinct is predominantly contemporary. Dwellings are built up to four storeys high in order to maximise river views from their close position to the waterfront.

Intermittent views to and across the river and surrounding landscape are afforded from the street. Dwellings are dominant when viewed from the river, due to low levels of vegetation and dwellings that are set primarily against the waterfront.

Lower levels of vegetation are present within both the public and private realm. Formalised footpaths and gardens contribute to a significant sense of formality in this area.



The background of the page is a photograph of a coastal area. On the left, a modern, multi-story house with a light-colored facade and large windows is partially visible, surrounded by trees. On the right, another house is situated on a small hill overlooking the water. The foreground is dominated by a body of water with gentle ripples. The sky is a pale, overcast blue.

Preferred Character Statement

New development will reflect existing large scale dwellings, using contemporary facade articulation and a consistent palette of muted or natural materials. Setbacks will be provided to ensure continued planting in new developments.

New development will be sited to retain the public views to the water where they are present.

Fencing will be incorporated into the landscape design or are low and permeable, allowing for views through to dwellings and front garden areas.

Design Guidelines

Design Variable	Character Element	Objective	Design Response
Scale	Building height and form	To ensure that new buildings and extensions do not dominate the streetscape and the wider landscape setting.	<ul style="list-style-type: none"> • New development should complement the predominant building height, building forms and siting of existing dwellings. • Encourage contemporary building design and innovative architecture that articulates facades and responds to sensitive interfaces. • New buildings at or near ridgelines should be designed and sited below the height of trees along the ridgeline, as viewed from both the street and the Georges River.
	Gardens and landscaping	To strengthen the garden settings of dwellings.	<ul style="list-style-type: none"> • Retain established or mature trees and vegetation where possible. • Prepare a landscape plan to accompany all applications for new dwellings that utilise low maintenance species. • Provide landscaping along shared driveways to soften the appearance of buildings.
	Siting and setbacks	To maintain and reinforce the predominant building alignment along the street and retain the existing street rhythm.	<ul style="list-style-type: none"> • Orient dwellings to address the street. • Provide side setbacks around buildings that provide for visual breaks through to garden areas and the Georges River.
Materials and Details	Building materials, design and details	To ensure new dwellings positively respond to the preferred building styles of the precinct.	<ul style="list-style-type: none"> • Use lighter finishes to complement the predominant palette of materials in the area (eg. whites, creams and greys).
	Front fencing	To maintain the openness and minimal delineation between public and private areas of the streetscape.	<ul style="list-style-type: none"> • Provide no or a low front fence up to 1.2m in height. • On main roads, higher front fences (up to 1.8m) may be constructed where they provide at least 20% permeability.
Access and Connection	Garage storage and vehicle access	To minimise the dominance of car parking access and structures.	<ul style="list-style-type: none"> • Locate garages and carports behind or in line with the front dwelling façade. • Provide only one vehicular crossover per typical site frontage.

Local Character Statement for the High Street Local Character Area

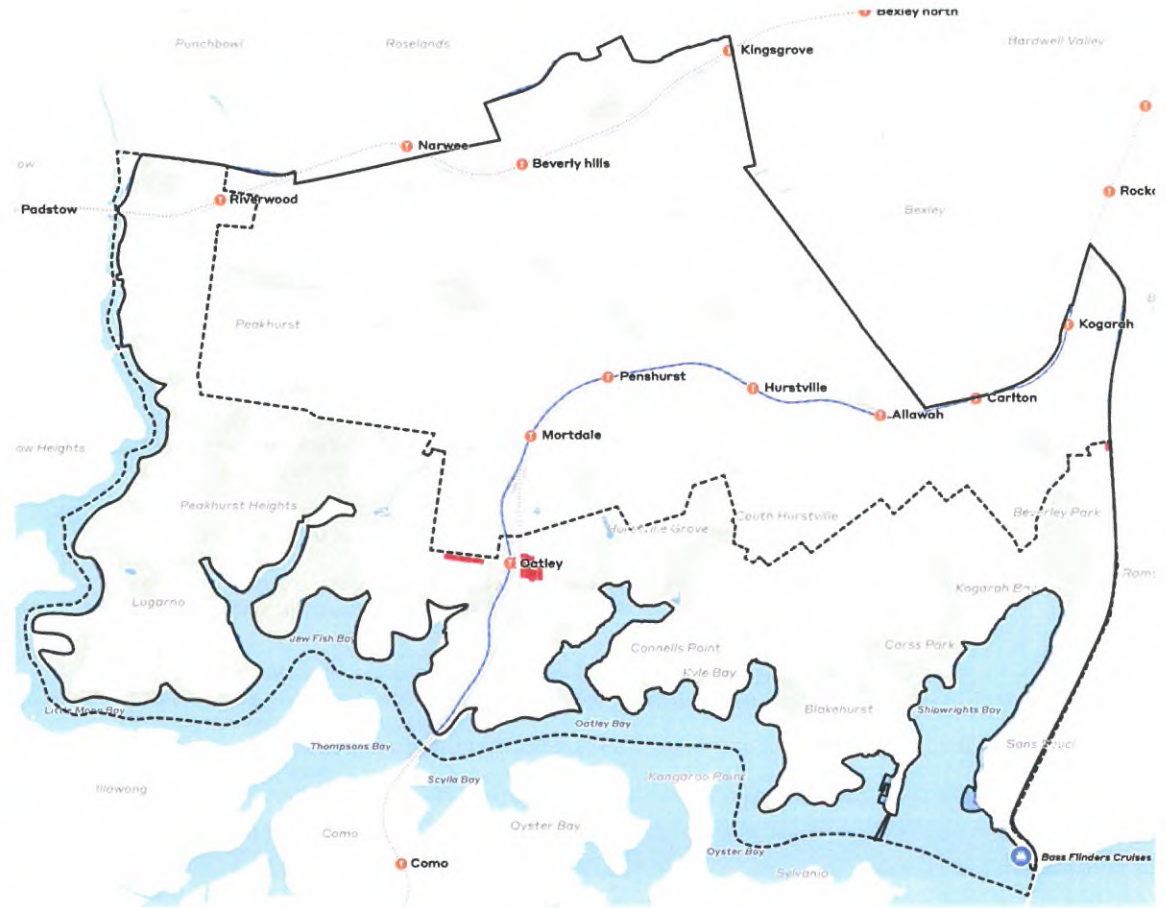
Category of Local Character Area: Change and Enhance

Description

High Street areas comprises of medium to low scale buildings that are reflective of traditional early Twentieth Century High Street development patterns. This includes fine grain, narrow development with low hipped or flat roofs, and detailed façades.

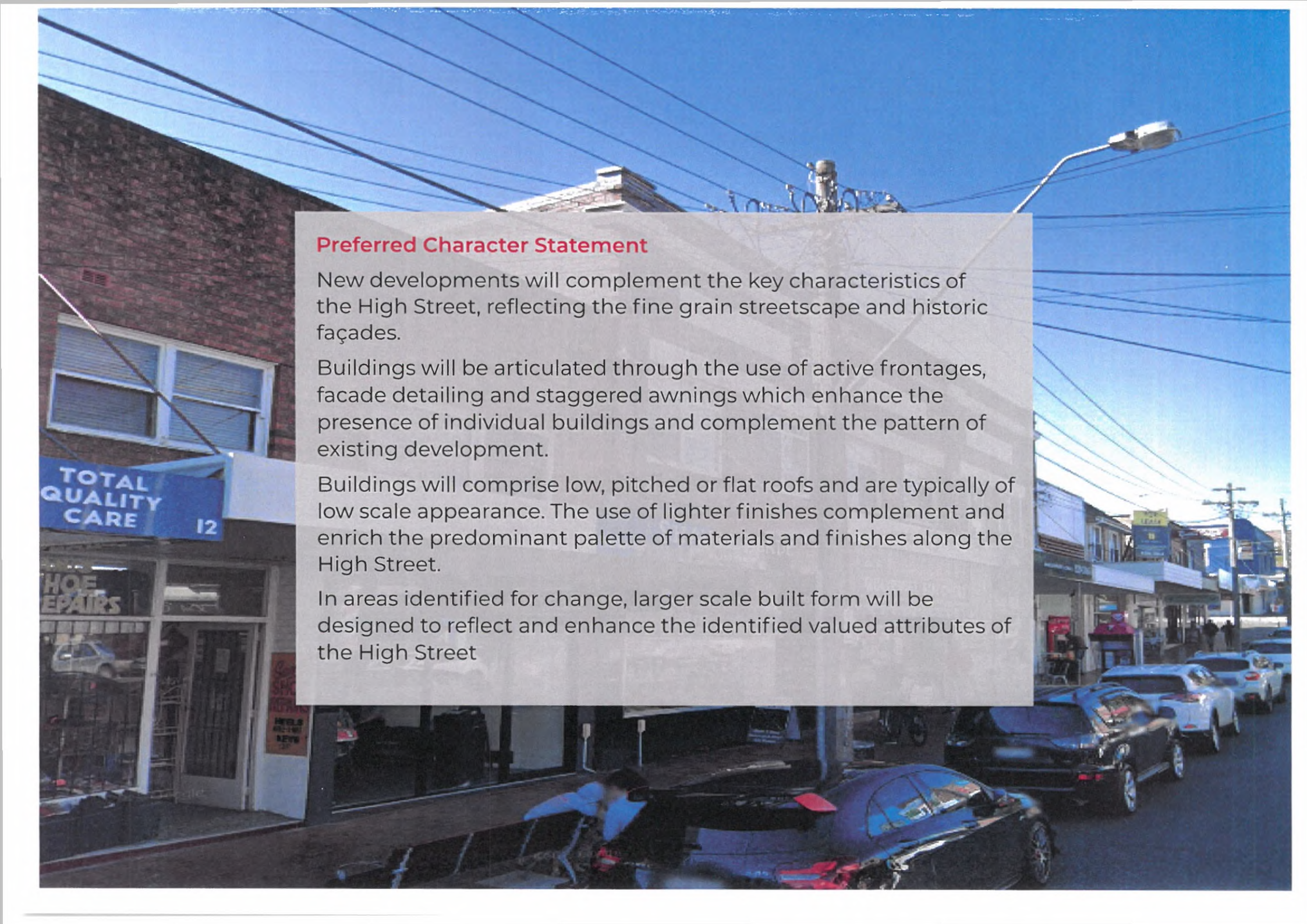
Buildings front the property boundary with at grade car parking located along the street. Built form is uniformly consistent with the use of materials that predominantly include brick, as well as the occasional example of painted concrete. Built form fronting High Street areas are generally two storeys in height, with some buildings appearing taller still due to the extended façades and detailing on parapets.

Footpaths are narrow and sheltered by awnings attached to the first floor of most buildings. Due to the dominance of built form and narrow setbacks, these areas feature no public realm or vegetation planting.



Note: High Street areas surrounding Oatley Station and Beverley Park have been identified as Centres Expansion Investigation areas in the Georges River Local Strategic Planning Statement. As a result, the category of these Local Character Areas is Change.

All other High Street Category of Local Character Areas are Enhance.



Preferred Character Statement

New developments will complement the key characteristics of the High Street, reflecting the fine grain streetscape and historic façades.

Buildings will be articulated through the use of active frontages, facade detailing and staggered awnings which enhance the presence of individual buildings and complement the pattern of existing development.

Buildings will comprise low, pitched or flat roofs and are typically of low scale appearance. The use of lighter finishes complement and enrich the predominant palette of materials and finishes along the High Street.

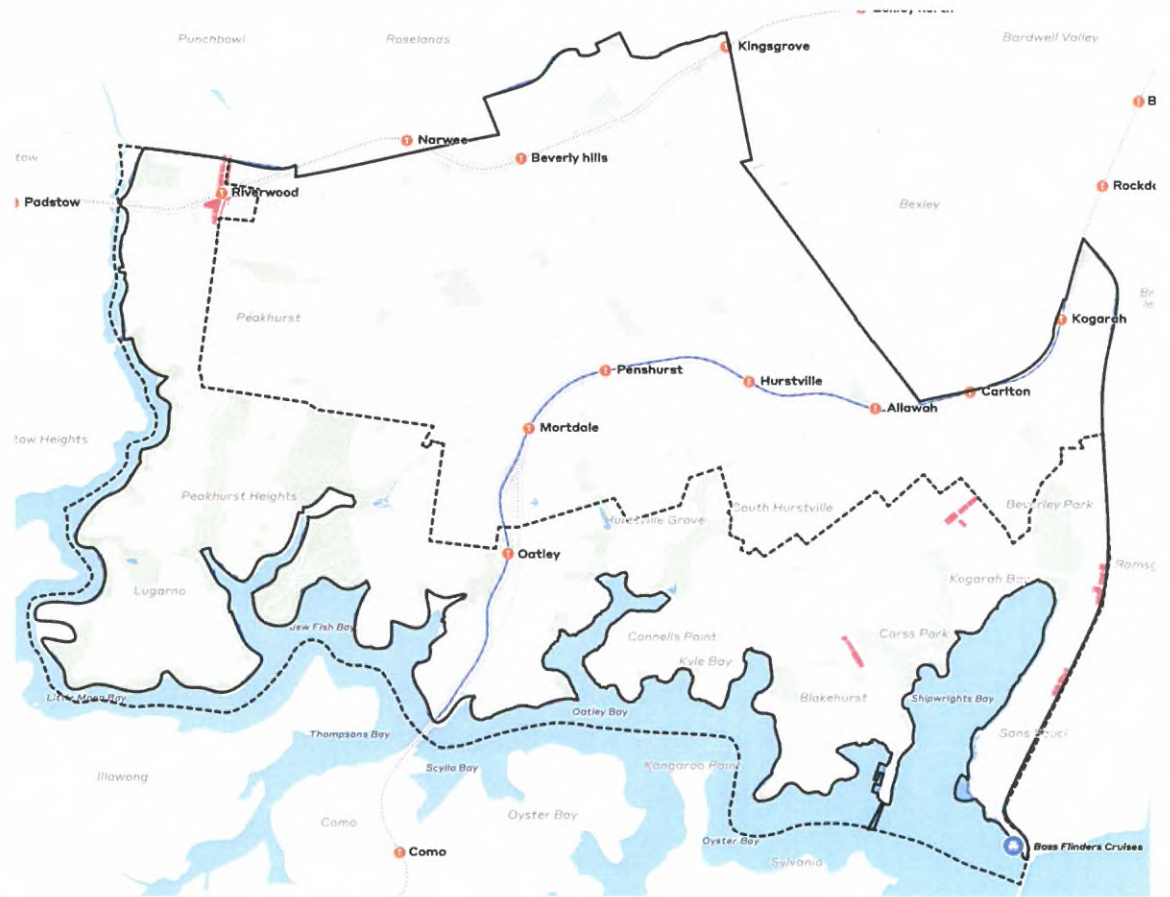
In areas identified for change, larger scale built form will be designed to reflect and enhance the identified valued attributes of the High Street

Local Character Statement for the High Street Mix Local Character Area

Category of Local Character Area: Change and Enhance


Description

High Street Mix areas share many similarities with the High Street character area including fine grain streetscapes, narrow setbacks and consistent built form with detailed façades. The key difference within High Street Mix areas is the emerging contemporary apartment and commercial development that is beginning to replace older, more traditional High Street style development. Buildings front the property boundary with at grade car parking located along the street. Built form is less consistent in these areas, with the use of glass and steel in contemporary developments contrasting with the traditional brick and concrete developments. Built form fronting High Street Mix areas consist of older buildings up to two storeys in height, with new development occurring at three storeys and above. Footpaths are narrow and sheltered by awnings attached to the first floor of most buildings. Awnings are less common in contemporary developments. Due to the dominance of built form and narrow setbacks, these areas feature no public realm or vegetation planting.



Note: High Street Mix areas in Riverwood, and Ramsgate have been identified as Centres Expansion Investigation areas in the Georges River Local Strategic Planning Statement. As a result, the category of these Local Character Areas is Change.

All other High Street Mix Category of Local Character Areas are Enhance.



Preferred Character Statement

New developments will complement the key characteristics of the High Street Mix area, reflecting existing fine grain streetscapes by ensuring that larger frontages are transparent, with clearly defined entrances and high levels of connectivity.

New development will include active frontages and facade detailing that enhances the presence of individual buildings and reflects the historical development pattern of the area.

Buildings will comprise flat roofs and be typically built to a moderate scale. The use of lighter finishes will complement and enrich the predominant palette of materials and finishes along the High Street Mix streetscape.

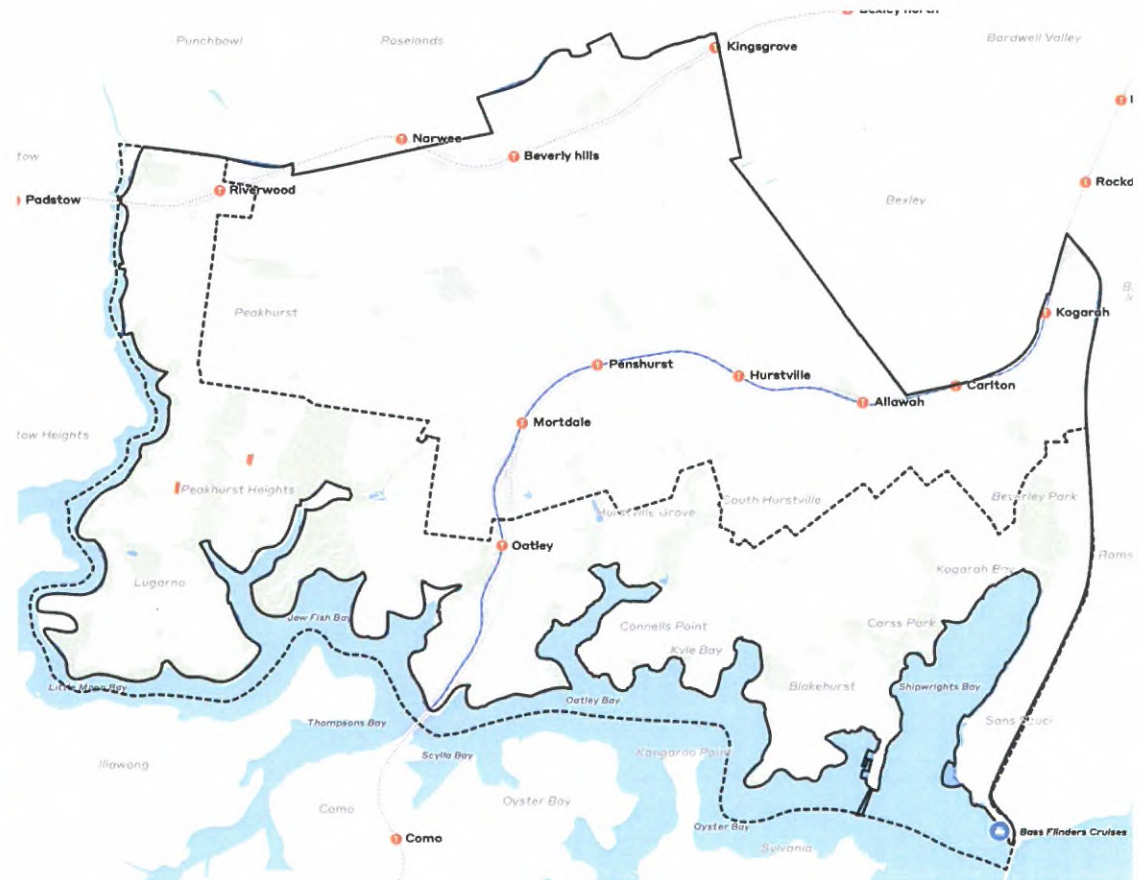
In areas identified for change, larger scale built form will be designed to reflect and enhance the identified valued attributes of the High Street.

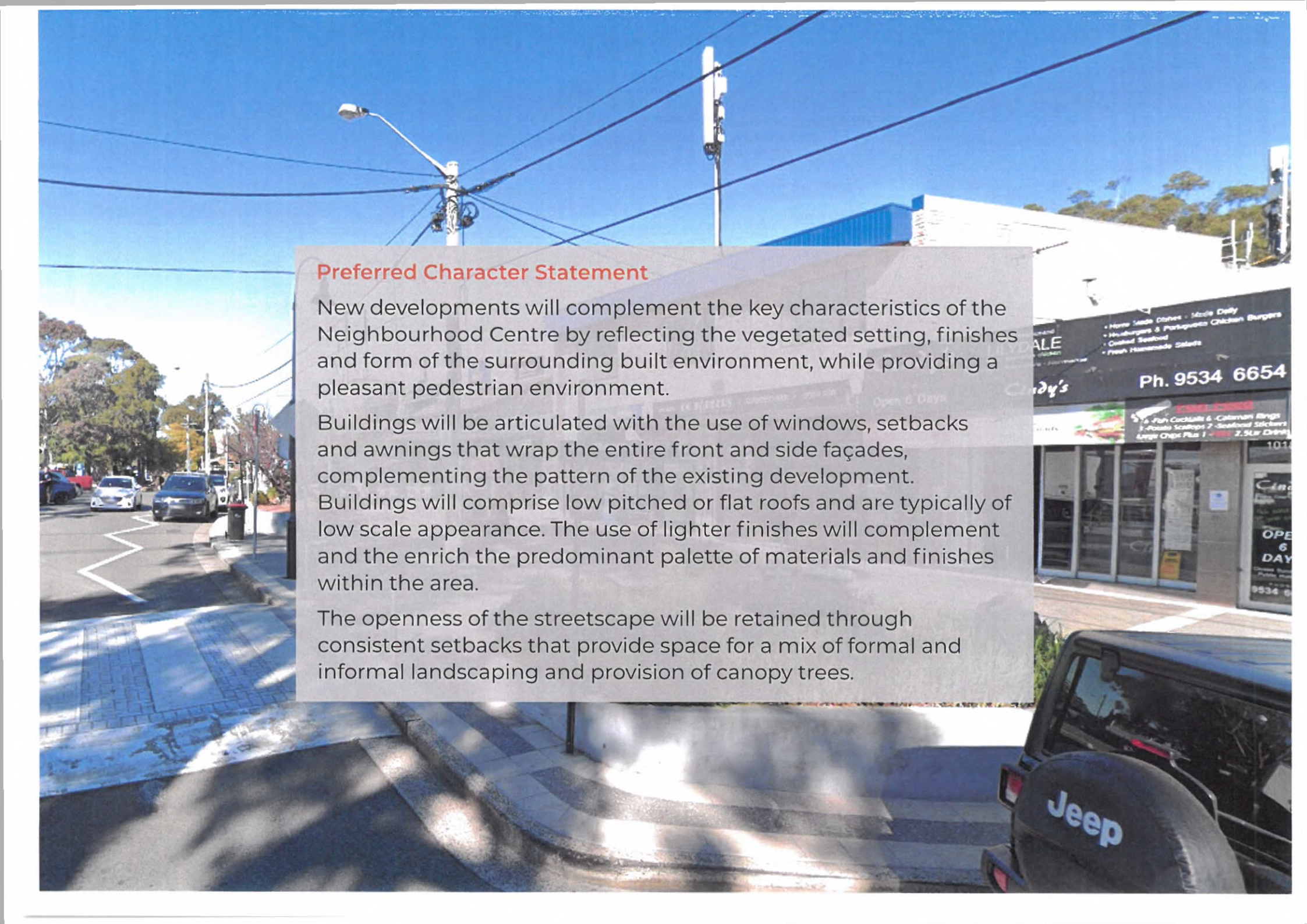
Local Character Statement for the Neighbourhood Centre Local Character Area

Category of Local Character Area: Enhance

Description

Neighbourhood Centre areas typically comprise of a mix of modern and occasional contemporary low scale buildings with formal landscaping and public realm improvements. These areas are defined by one sided street strip shopping with developments built to boundary allowing for on street parking. Built form appears generally consistent with flat roofs and retail façades, while use of materials can be mixed, including brick and painted concrete. Building heights generally range between one and two storeys. Footpaths are wide, allowing for public furniture and a mix of informal and formal plantings and native canopy trees.



A street scene with a clear blue sky, power lines, a street lamp, and a building with a sign for 'Candy's'. The building has a black sign with white text listing menu items like 'Home Made Dishes', 'Meats Daily', 'Hamburgers & Portuguese Chicken Burgers', 'Cashed Seafood', and 'Fresh Homemade Salads'. It also displays the phone number 'Ph. 9534 6654'. Below the sign, there are large glass windows and a door. A black car with 'Jeep' written on the back is visible in the foreground. The street has a white zig-zag line and a sidewalk with a tree shadow.

Preferred Character Statement

New developments will complement the key characteristics of the Neighbourhood Centre by reflecting the vegetated setting, finishes and form of the surrounding built environment, while providing a pleasant pedestrian environment.

Buildings will be articulated with the use of windows, setbacks and awnings that wrap the entire front and side façades, complementing the pattern of the existing development. Buildings will comprise low pitched or flat roofs and are typically of low scale appearance. The use of lighter finishes will complement and the enrich the predominant palette of materials and finishes within the area.

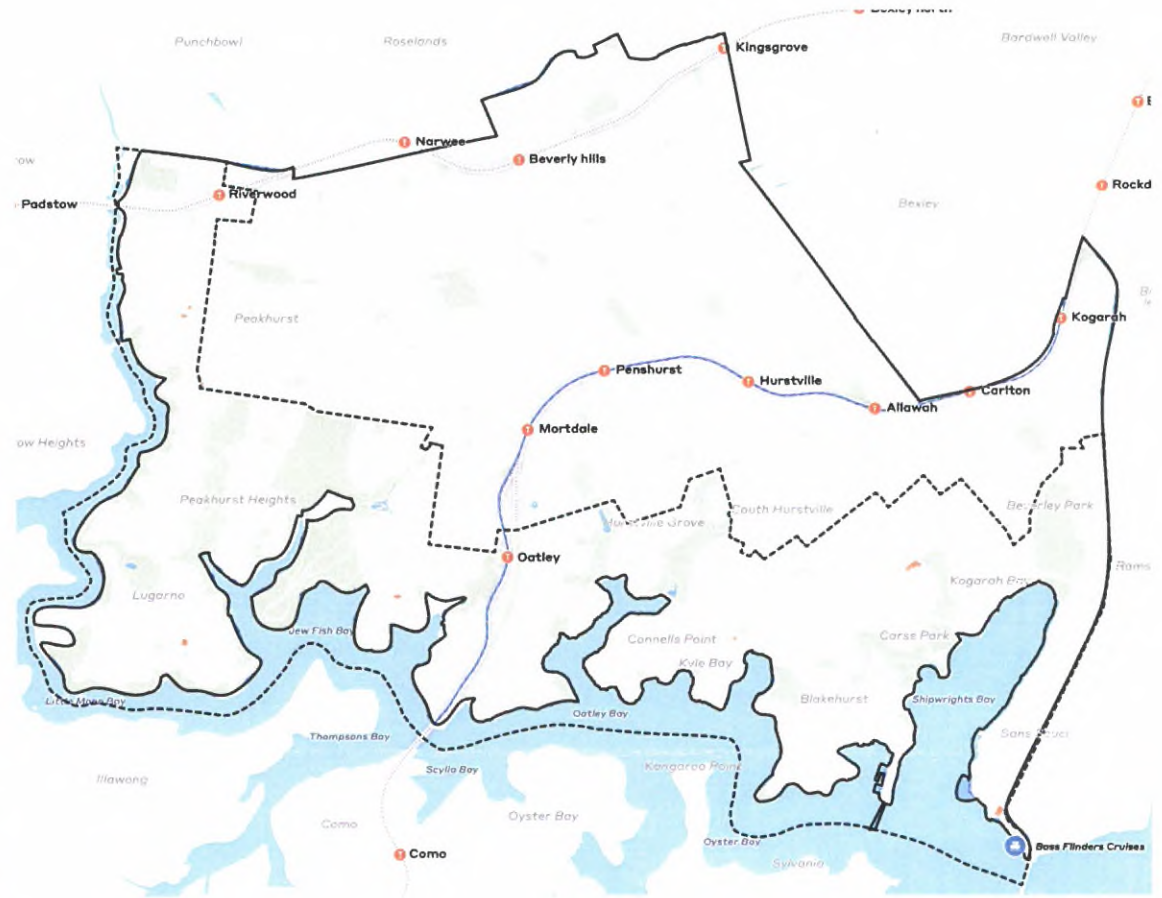
The openness of the streetscape will be retained through consistent setbacks that provide space for a mix of formal and informal landscaping and provision of canopy trees.

Local Character Statement for the Neighbourhood Convenience Local Character Area

Category of Local Character Area: Change and Enhance

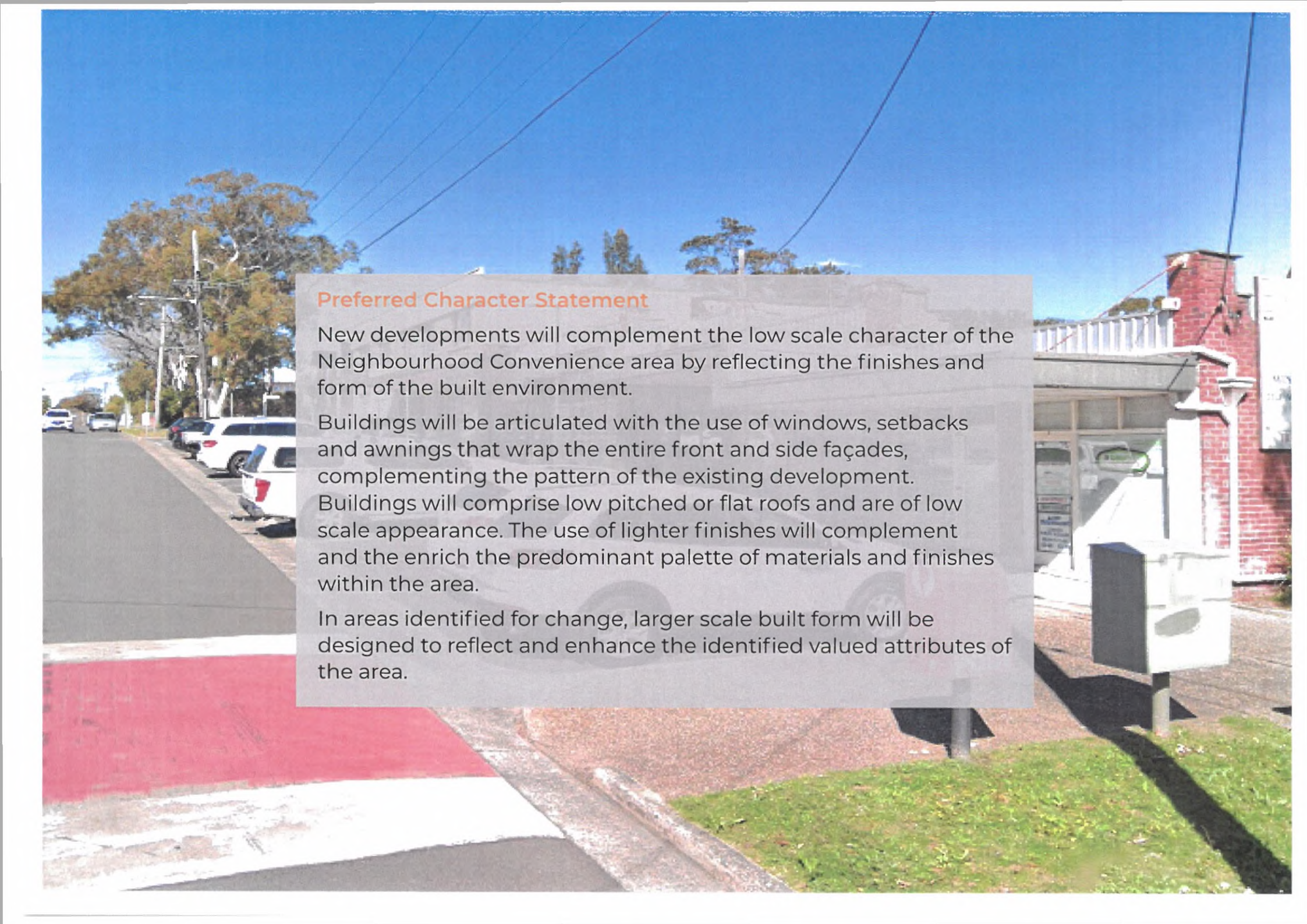
Description

Neighbourhood Convenience areas are typically comprised of low scale buildings that are built to boundary with dedicated street parking located at the front of developments. Buildings are generally set back from the road to accommodate 90 degree parking spaces and pedestrian footpaths. Built form is generally consistent, featuring flat roofs, a mix of brick and painted concrete, with awnings over footpaths. Building heights within these areas are predominantly single storey. The era of development in these areas is predominantly modern, with simple façades that accommodate small retailers and commercial services. These areas feature little to no public realm or vegetation planting.



Note: Neighbourhood Convenience areas in Kogarah Bay and Connells Point have been identified as Centres Expansion Investigation areas in the Georges River Local Strategic Planning Statement. As a result, the category of these Local Character Areas is Change.

All other Neighbourhood Convenience Category of Local Character Areas are Enhance.



Preferred Character Statement

New developments will complement the low scale character of the Neighbourhood Convenience area by reflecting the finishes and form of the built environment.

Buildings will be articulated with the use of windows, setbacks and awnings that wrap the entire front and side façades, complementing the pattern of the existing development.

Buildings will comprise low pitched or flat roofs and are of low scale appearance. The use of lighter finishes will complement and the enrich the predominant palette of materials and finishes within the area.

In areas identified for change, larger scale built form will be designed to reflect and enhance the identified valued attributes of the area.

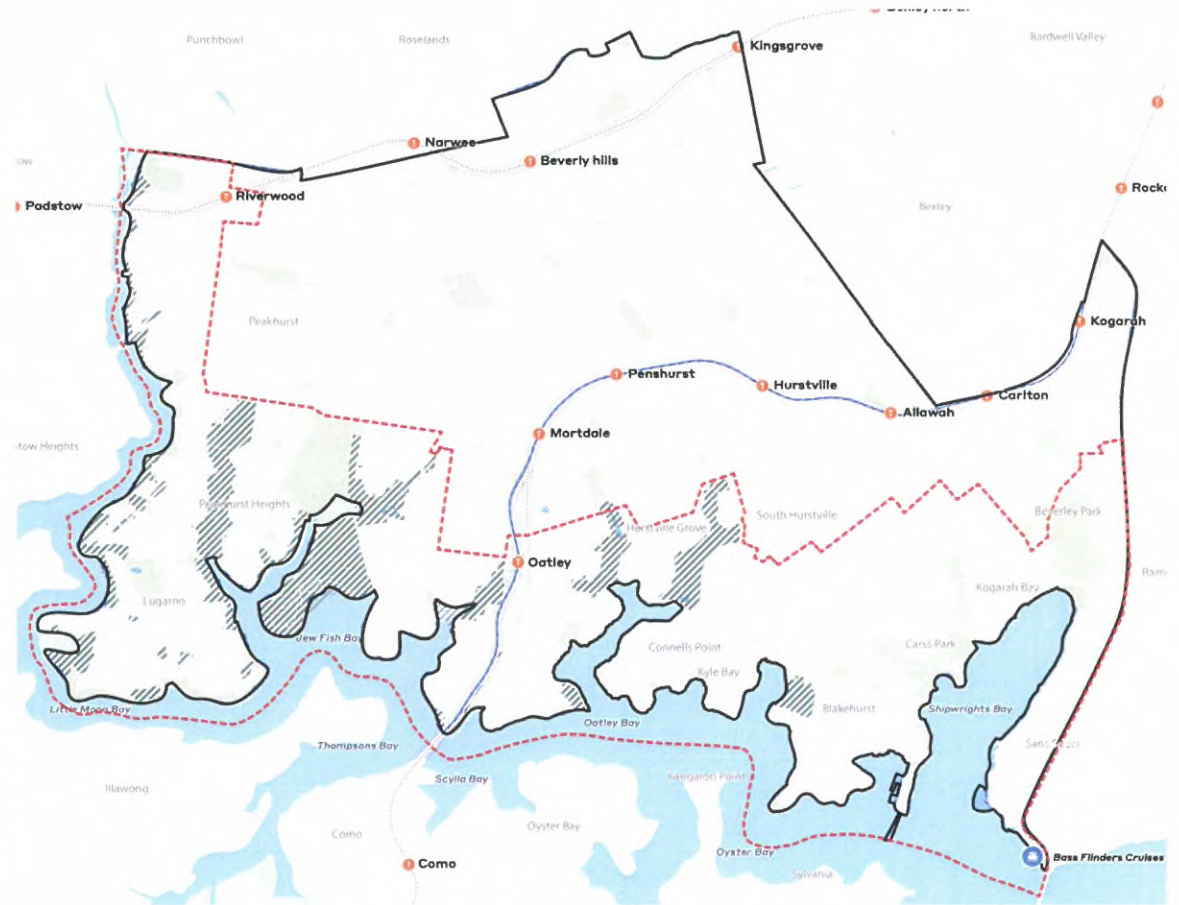
Local Character Statement for the Open Space Naturalistic Local Character Area

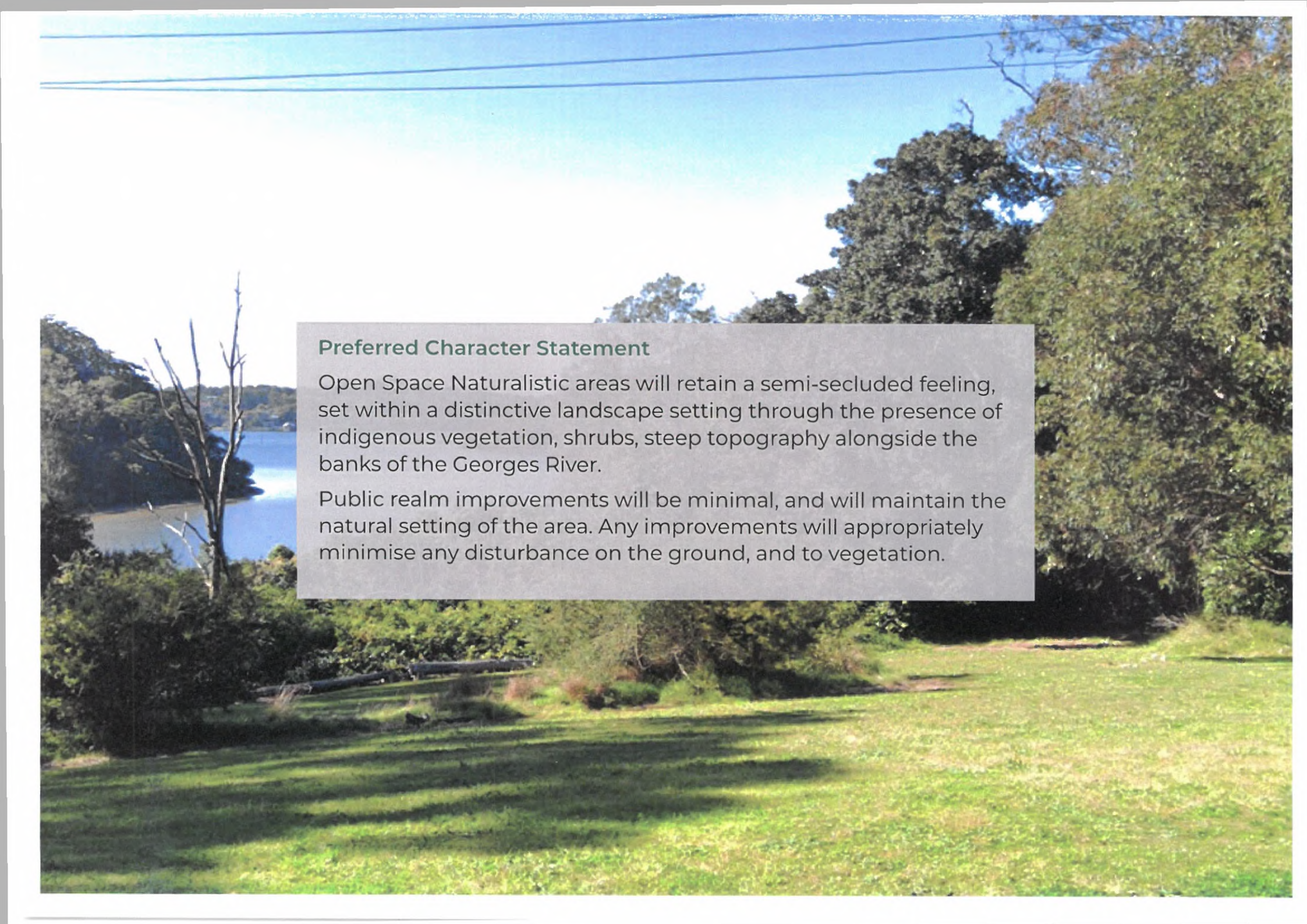
Category of Local Character Area: Maintain

Description

Open Space: Naturalistic areas consist predominantly of highly vegetated, passive open spaces with limited to no facilities present. Vegetation within these areas generally includes high levels of ground cover vegetation including bushes and grass, as well as a significant number of canopy trees that contribute to the overall character of Georges River. Low levels of remnant Swamp Oak Floodplain Forest, Coastal Enriched Sandstone Dry Forest and Remnant Swamp Sclerophyll Forest on Coastal Floodplains are present in some locations within this area.

These areas are located along ridgelines within close proximity to, or abutting Georges River.



A scenic landscape photograph showing a grassy field in the foreground, with a line of trees and a river in the background. The sky is blue with some clouds. A semi-transparent grey box containing text is overlaid on the right side of the image.

Preferred Character Statement

Open Space Naturalistic areas will retain a semi-secluded feeling, set within a distinctive landscape setting through the presence of indigenous vegetation, shrubs, steep topography alongside the banks of the Georges River.

Public realm improvements will be minimal, and will maintain the natural setting of the area. Any improvements will appropriately minimise any disturbance on the ground, and to vegetation.

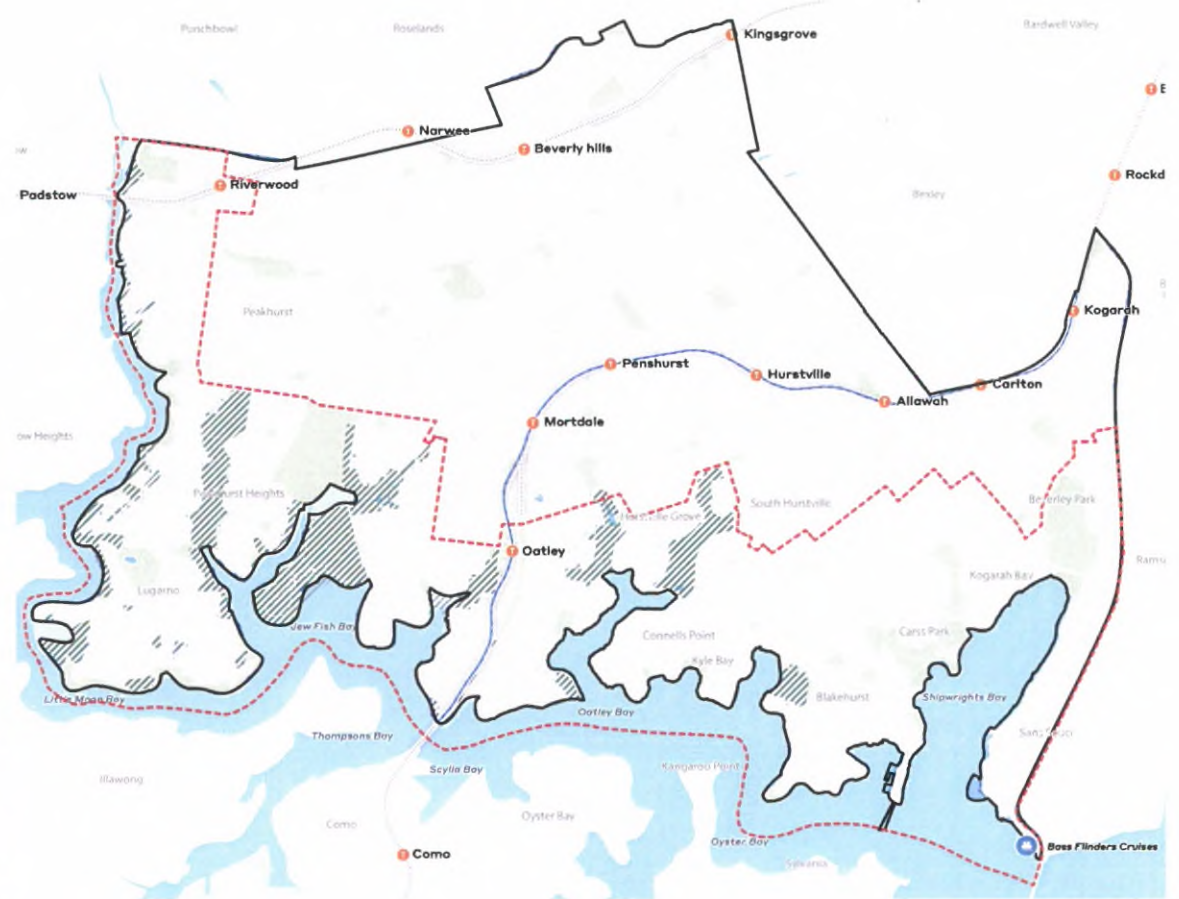
Local Character Statement for the Open Space Semi-Naturalistic Local Character Area


Category of Local Character Area: Enhance

Description

Open Space: Semi Naturalistic areas consist predominantly of well vegetated, passive and active open spaces that generally include community facilities such as sports grounds and boating ramps. These areas include medium to high levels of vegetation generally consisting of canopy trees and vast grassy fields. Low levels of remnant Swamp Oak Floodplain Forest, Coastal Enriched Sandstone Dry Forest and Remnant Swamp Sclerophyll Forest on Coastal Floodplains are present in some locations within this area.

These areas are often landlocked, but can also be located along an interface with Georges River.





Preferred Character Statement

Open Space Semi-Naturalistic areas offer the local community a range of formal and informal recreation and opportunities including walking, exercising, playground use and picnicking.

These areas will continue to accommodate formal and informal activities while ensuring that any improvements reflect and enhance the openness and accessibility of the area while complementing the vegetated surrounds.